

# ***Louisville Revitalization Commission***

## ***Agenda***

**Wednesday, March 25, 2026**  
**City Hall, Council Chambers**  
**749 Main Street**  
**8:00 AM**

*Members of the public are welcome to attend and give comments remotely; however, the in-person meeting may continue even if technology issues prevent remote participation.*

- You can call in to [+1 646 876 9923](tel:+16468769923) or [833 548 0282](tel:8335480282) (toll free) Webinar ID [#852 0147 8768](tel:85201478768)
- You can log in via your computer. Please visit the City's website [here](http://www.louisvilleco.gov/revitalizationcommission) to link to the meeting: [www.louisvilleco.gov/revitalizationcommission](http://www.louisvilleco.gov/revitalizationcommission).

*The Board will accommodate public comments during the meeting. Anyone may also email comments to the Board prior to the meeting at [VZarate@LouisvilleCO.gov](mailto:VZarate@LouisvilleCO.gov).*

1. Call to Order
2. Roll Call
3. Approval of Agenda
4. Public Comments on Items Not on the Agenda
5. Business Matters of Commission
  - a. Front and Center Discussion and Direction
6. Commissioners' Comments
7. Adjourn

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Persons planning to attend the meeting who need sign language interpretation, translation services, assisted listening systems, Braille, taped material, or special transportation, should contact the City Clerk's Office at 303 335-4536 or [GKline@LouisvilleCO.gov](mailto:GKline@LouisvilleCO.gov). A forty-eight-hour notice is requested.

Si requiere una copia en español de esta publicación o necesita un intérprete durante la reunión, por favor llame a la Ciudad al 303.335.4536 o 303.335.4574.

**SUBJECT:** Discussion/Direction: Front & Center Project – 30% Design

**DATE:** MARCH 11, 2026

**PREPARED BY:** JORDAN JEFFERIES, ASSISTANT CITY ENGINEER  
VANESSA ZARATE, ECONOMIC VITALITY MANAGER

**PRESENTED BY:** KURT KOWAR, DIRECTOR OF PUBLIC WORKS  
VANESSA ZARATE, ECONOMIC VITALITY MANAGER

**SUMMARY:**

The Front & Center Project ("project") is the implementation of the adopted Downtown Vision Plan. The project will include infrastructure improvements throughout downtown, with a focus on the Steinbaugh Pavilion area and Main Street. Through the Downtown Vision Plan process, feedback from the focus group, and engagement with stakeholders, City staff and the project team have prepared 30% design plans for the project. Staff has provided responses to LRC questions from the previous presentation on February 25, 2026, and additional information that may be helpful to LRC in efforts to dial in the project scope. Staff would like further direction from the Louisville Revitalization Commission (LRC) regarding the proposed elements so that the design and estimate can be further refined and the design team can continue detailed design efforts.

**BACKGROUND / PRIOR DISCUSSIONS:**

The Front & Center Project is the first phase of implementation of Louisville's Downtown Vision Plan, which was initiated by the LRC in 2023 and officially adopted by City Council on November 19, 2024. The Downtown Vision Plan laid out a vision for improving the downtown area to revitalize and enhance economic activity in the area and to create a sense of place and destination for residents and visitors. The Vision Plan laid out a plan to implement improvements over the next decade. The Front & Center Project is focused on implementing "short-term" improvements outlined in the Vision Plan.

**ANALYSIS:**

The Front & Center Project kicked off in early March 2025 when RVI Planning & Landscape Architecture was hired as the design consultant. The City has also engaged ECI to provide construction-manager-at-risk services for the project, which allows the city to get valuable input on project costs, constructability, construction sequencing, value engineering, and public communications.

The 30% design has been completed with input from the LRC, a focus group, and stakeholders that will use the Front & Center space such as Street Faire, the Farmer's Market, the Winter Ice Rink, and the Cultural Services Department. The next step is to receive input from the City Council and the LRC to refine the scope of work so that

design of the improvements can continue. With further refinement of the design, staff will have a better understanding of the schedule and timeline for the improvements and potential impacts to downtown businesses.

Staff received some initial feedback from LRC and City Council at the February 25, 2026, joint meeting; however, several questions from LRC remained. Responses to those questions are included as an attachment to this memo.

It should be noted that the originally planned construction start date of October 2026 at the Steinbaugh Plaza area is in jeopardy of slipping due to evolving scope. Staff needs final direction soon to continue the detailed design process and avoid the potential for rework and construction delays. Staff requests that any major scope changes, including removal of major elements, addition of major elements, etc. be finalized by March 31, 2026. Any major scope changes beyond this date would almost certainly delay start of construction beyond October 2026. Minor scope changes, such as changing sizes of elements, material substitutions, removal of minor elements, etc. should be conveyed to the project team no later than April 30, 2026. If these deadlines are held, the project team believes that it may still be possible to begin construction at Steinbaugh Pavilion in Fall 2026.

For Main Street, the project team is working to develop an early construction package to complete the lighting improvements by December 31, 2026. To meet this deadline, the project team needs to move forward immediately with detailed design. With lead times on lighting equipment of 4-5 months, and an anticipated 2 month construction duration, final design would need to be complete by late May or early June. This allows only 2.5 months to develop the detailed design, which is already a tight schedule. Staff is requesting approval to move forward with the early lighting package on Main Street to try to complete the Main Street lighting improvements by the end of the year.

If additional budget becomes available or unused contingency remains, staff recommends exploring the two following options:

- Minor landscaping along Main Street in the form of planters and/or street trees. This would be limited landscaping, but would be a good use of any additional funds that become available.
- A permanent covered structure north of the parking lot at Steinbaugh Plaza to accommodate Street Faire needs without requiring a large tent being erected and left in place all summer which seems incongruent with the intents of this new plaza area and limits the use of the plaza on a day-to-day basis during the summer. Note this improvement would likely require additional funding and could not be completed with a minor budget surplus. An example of this kind of structure can be seen at the Green at 38<sup>th</sup> project that was completed in Wheat Ridge, CO, last summer. A picture of this structure is included as an attachment to this memo.

**2026 COUNCIL WORK PLAN:**

This item is specifically included as an Economic Vitality priority item in Council's Work Plan.

**FISCAL IMPACT:**

The total project budget is \$9M. After accounting for design of the project (\$1.2M) and approximate financing fees (\$100k), there's approximately \$7.7M left for construction of these improvements. The current estimate for this phase of Front & Center improvements at Steinbaugh Plaza and Main Street is \$7,244,121. This cost is under budget, but it includes only a 10% contingency. There were some concerns in the previous LRC meeting that the 10% contingency was too low for this phase of design. With a 15% contingency, the cost becomes \$7,628,286, which is approximately \$70,000 lower than the available budget. The project team believes a 15% contingency is appropriate since the estimates are being prepared by the contractor. Contractor estimates are typically more accurate than those developed by the designer.

It should be noted that Wayfinding is not included in the cost estimates outlined above; however, initial discussions with the design team indicate that wayfinding signage can be installed for less than \$50,000. The budget surplus of \$70,000 should be adequate to cover wayfinding costs. Staff will work to refine the wayfinding layout prior to the next LRC update.

**ALTERNATIVE(S):**

N/A

**RECOMMENDATION:**

Staff requests any additional feedback on the proposed design of Steinbaugh Plaza and Main Street. Staff recommends any major design changes be finalized and conveyed to the project team prior to March 31, 2026, and any minor design changes be finalized and conveyed to the project team prior to April 30, 2026. As discussed previously, this phase of the project will be focused on lighting only for Main Street. Staff recommends LRC approval of this approach in order to start advancing design to meet the 2.5 month design timeline needed to construct the lighting as an early package that could be completed by the end of 2026. Staff also encourages any feedback on Steinbaugh Plaza improvements and requests direction on how to meet the shelter needs required by Street Faire. In the February 25, 2026, joint LRC and City Council meeting, some reservation was expressed about erecting a Street Faire tent that would remain in place all summer. This is one of the most significant design challenges remaining as the tent size and location will likely require minor design changes to accommodate. If additional funding is an option, staff recommends pursuing this to design and construct a permanent covered shelter to avoid having to maintain a tent on the plaza every summer, which may not be compatible with the intent having this space function as a gathering space on a day-to-day basis.

**ATTACHMENT(S):**

1. Attachment 1 – Steinbaugh Plaza Layout and ROM (Rough Order of Magnitude) Costing

2. Attachment 2 – Main Street Lighting Only Layout and ROM Costing
3. Attachment 3 – Supporting Pictures
4. Attachment 4 – Responses to LRC questions
5. Attachment 5 – Main Street Streetscape ROM Costing
6. Attachment 6 – 30 Percent Design Drawings

# ATTACHMENT 1 - STEINBAUGH PLAZA LAYOUT & COST ESTIMATE

## DAY TO DAY



MANUFACTURER - STREETLIFE  
 MODEL - SOLID MOBILE GREEN ISLE,  
 ROUND MODULE



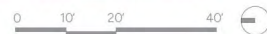
MANUFACTURER - LANDSCAPE FORMS  
 MODEL - BRAVE BISTRO



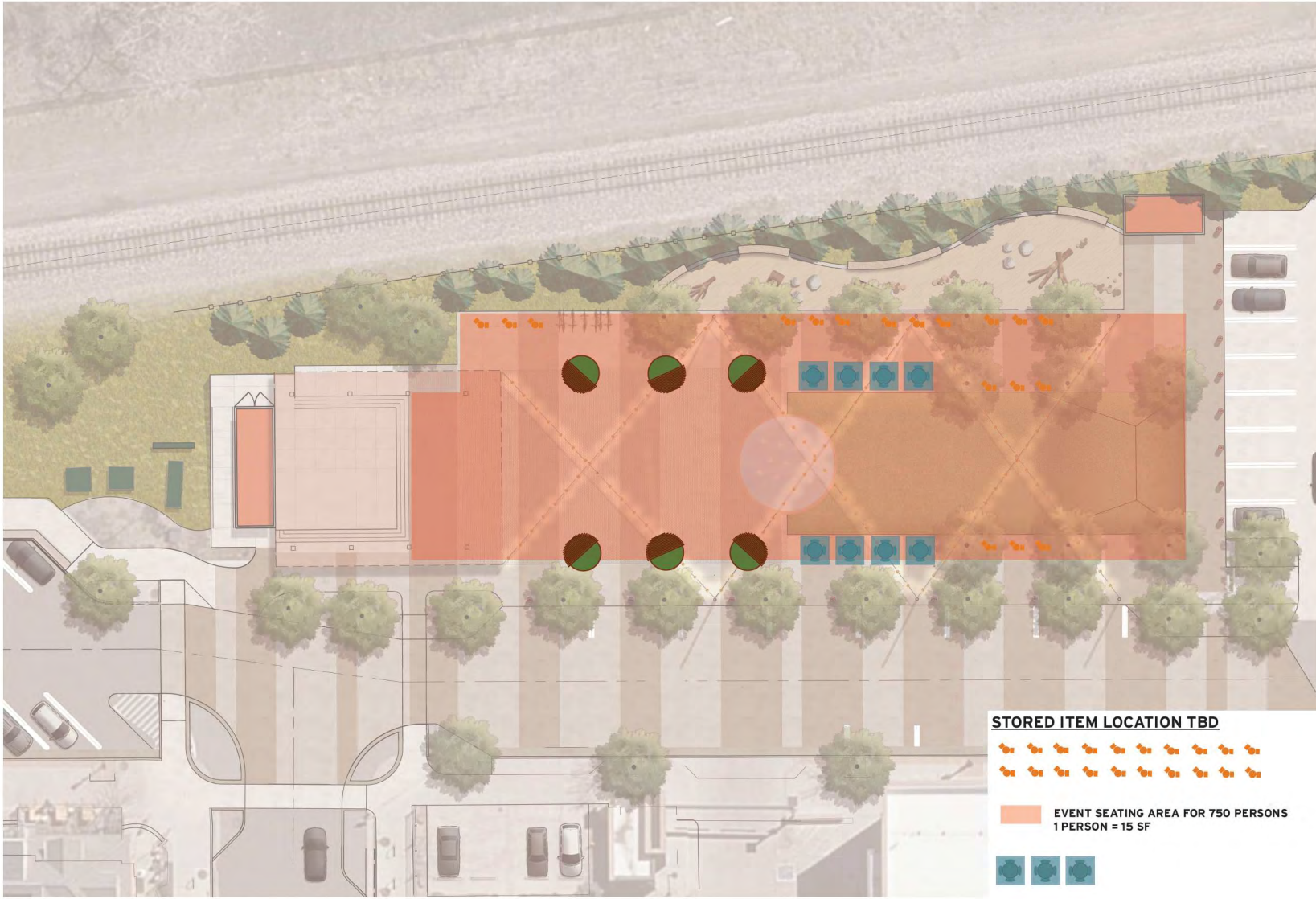
MANUFACTURER - ANOVA  
 MODEL - EXPOSITION CAROUSEL TABLE  
 AND CHAIRS WITH FIBERBUILT LUCAYA  
 UMBRELLA



MANUFACTURER - STREETLIFE  
 MODEL - ROUGH & READY BIKE RACK



# EVENT



**STORED ITEM LOCATION TBD**



EVENT SEATING AREA FOR 750 PERSONS  
1 PERSON = 15 SF



**MANUFACTURER - STREETLIFE**  
**MODEL - SOLID MOBILE GREEN ISLE, ROUND MODULE**



**MANUFACTURER - LANDSCAPE FORMS**  
**MODEL - BRAVE BISTRO**



**MANUFACTURER - ANOVA**  
**MODEL - EXPOSITION CAROUSEL TABLE AND CHAIRS WITH FIBERBUILT LUCAYA UMBRELLA**



**MANUFACTURER - STREETLIFE**  
**MODEL - ROUGH & READY BIKE RACK**



# STEINBAUGH PLAZA COST ESTIMATE



LOVELAND, CO 80531  
 PH: 970.668.8293  
 FAX: 970.668.8411  
[www.ecisite.net](http://www.ecisite.net)

PROJECT:	Downtown Louisville - Steinbaugh Plaza Concept ROM		DATE:	2/25/2026		
Rough Order of Magnitude						
ITEM #	ITEM DESCRIPTION	UNIT	QUANTITY	UNIT COST	TOTAL COST	NOTES AND ASSUMPTIONS
<b>Erosion Control/Demo/Site Prep/Earthwork</b>						
1	Construction Fence	LF	700	\$ 6.25	\$ 4,375.00	
2	SSA	EA	1	\$ 5,500.00	\$ 5,500.00	
3	VTC	EA	1	\$ 5,000.00	\$ 5,000.00	
4	CWA	LS	1	\$ 8,000.00	\$ 8,000.00	
5	Inlet Protection	EA	10	\$ 450.00	\$ 4,500.00	
6	Rock Socks	EA	10	\$ 220.00	\$ 2,200.00	
7	Erosion Control Maintenance and Management	LS	1	\$ 38,900.00	\$ 38,900.00	
8	Remove Asphalt	SF	28812	\$ 4.50	\$ 129,654.00	
9	Remove ADA Ramps	SF	490	\$ 4.50	\$ 2,205.00	
10	Remove Concrete Apron	SF	520	\$ 4.50	\$ 2,340.00	
11	Remove Concrete	SF	7656	\$ 4.50	\$ 34,452.00	
12	Remove Curb and Gutter	LF	992	\$ 5.75	\$ 5,704.00	
13	Remove Valley Drain	SF	670	\$ 4.50	\$ 3,015.00	
14	Cap and Abandon Existing Utilities	LS	1	\$ 10,000.00	\$ 10,000.00	
15	Remove Pavilion Structure	LS	1	\$ 50,000.00	\$ 50,000.00	
16	Remove Timber Retaining Walls	LF	45	\$ 4.50	\$ 202.50	
17	Remove and Salvage Existing Pavers	SF	667	\$ 3.50	\$ 2,334.50	
18	Remove Bike Racks	EA	4	\$ 475.00	\$ 1,900.00	
19	Remove Bollards	EA	5	\$ 600.00	\$ 3,000.00	
20	Remove Parking Lot Signage	EA	4	\$ 475.00	\$ 1,900.00	
21	Remove 6"-8" Cal. Trees	EA	8	\$ 2,500.00	\$ 20,000.00	
22	Tree Protection	LF	178	\$ 5.85	\$ 1,041.30	
23	Pedestrian and Traffic Control	LS	1	\$ 25,000.00	\$ 25,000.00	
24	Relocate Connex Units	EA	2	\$ 1,000.00	\$ 2,000.00	
25	Potholing	LS	1	\$ 15,000.00	\$ 15,000.00	
26	Clear and Grub	SF	1405	\$ 5.50	\$ 7,727.50	
27	Unclassified Excavation	LS	1	\$ 24,000.00	\$ 24,000.00	
	<b>Subtotal (Erosion Control/Demo/Site Prep/Earthwork)</b>				<b>\$ 411,284.80</b>	
<b>Utilities</b>						
28	1.5" Water Meter Pit	EA	1	\$ 12,500.00	\$ 12,500.00	
29	1.5" Type K Copper	LF	105	\$ 125.00	\$ 13,125.00	
30	1.5" Water Meter Pit	EA	1	\$ 12,500.00	\$ 12,500.00	
31	1.5" Type K Copper	LF	120	\$ 125.00	\$ 15,000.00	
32	1" Water Meter Pit	EA	1	\$ 7,500.00	\$ 7,500.00	
33	1" Type K Copper	LF	43	\$ 100.00	\$ 4,300.00	
34	4" Sanitary Manhole	EA	1	\$ 9,500.00	\$ 9,500.00	
35	8" PVC	LF	12	\$ 200.00	\$ 2,400.00	
36	4" PVC w/ Cleanouts	LF	65	\$ 120.00	\$ 7,800.00	
37	6" Storm Connection	EA	1	\$ 3,250.00	\$ 3,250.00	
38	6" HDPE	LF	52	\$ 90.00	\$ 4,680.00	
39	4" HDPE	LF	80	\$ 80.00	\$ 6,400.00	
40	Storm System Modification - Allowance	AL	1	\$ 50,000.00	\$ 50,000.00	
	<b>Subtotal (Utilities)</b>				<b>\$ 148,955.00</b>	
<b>Paving &amp; Plaza</b>						
41	Asphalt Paving	SF	6,445	\$ 6.00	\$ 38,670.00	
42	Class 6 Base Course	TON	105	\$ 44.00	\$ 4,620.00	
43	Vehicular Pavers	SF	3385	\$ 45.00	\$ 152,325.00	
44	Vehicular Paver Sub Slab	SF	3385	\$ 8.50	\$ 28,772.50	
45	ADA Ramp	EA	8	\$ 4,500.00	\$ 36,000.00	
46	Pedestrian Concrete	SF	7065	\$ 12.00	\$ 84,780.00	
47	Vehicular Concrete	SF	13750	\$ 18.00	\$ 247,500.00	
48	Curb and Gutter	LF	265	\$ 62.00	\$ 16,430.00	
49	Flush Curb and Gutter	LF	73	\$ 55.00	\$ 4,015.00	
50	Curbing @ Parking Lot	LF	172	\$ 65.00	\$ 11,180.00	
51	4" Valley Pan	LF	204	\$ 60.00	\$ 12,240.00	
52	Concrete Edger	LF	272	\$ 55.00	\$ 14,960.00	
53	Concrete Landscape Edger	LF	55	\$ 55.00	\$ 3,025.00	
54	Synthetic Turf Edger	LF	245	\$ 55.00	\$ 13,475.00	
56	Synthetic Turf	SF	3282	\$ 22.00	\$ 72,204.00	
55	Vehicular Concrete Bollard Band	LF	62	\$ 55.00	\$ 3,410.00	
57	Fin Grade +/- 1'	LS	1	\$ 38,250.00	\$ 38,250.00	
	<b>Subtotal (Plaza, Parking &amp; Streetscape Improvements)</b>				<b>\$ 781,856.50</b>	
<b>Landscape &amp; Irrigation</b>						
58	Deciduous Trees 2" Cal.	EA	17	\$ 850.00	\$ 14,450.00	
59	Ornamental Trees 1.5" Cal.	EA	6	\$ 780.00	\$ 4,680.00	
60	Evergreen Trees	EA	29	\$ 975.00	\$ 28,275.00	
61	Native Seed	SF	2925	\$ 0.44	\$ 1,287.00	
62	Planting Areas	SF	5645	\$ 20.00	\$ 112,900.00	
63	Stabilized Crusher Fines	SF	200	\$ 6.75	\$ 1,350.00	
64	Wood Mulch	SF	5645	\$ 2.50	\$ 14,112.50	
65	Boulder Type 1	EA	28	\$ 895.00	\$ 25,060.00	
66	Boulder Type 2	EA	36	\$ 1,125.00	\$ 40,500.00	
67	Boulder Type 3	EA	1	\$ 1,500.00	\$ 1,500.00	
68	Over-Ex 3' for Soil Cells	CY	900	\$ 36.50	\$ 32,850.00	
69	Soil Cell System	EA	17	\$ 15,100.00	\$ 256,700.00	
70	Irrigation System	LS	1	\$ 45,000.00	\$ 45,000.00	
	<b>Subtotal (Landscape &amp; Irrigation)</b>				<b>\$ 578,664.50</b>	
<b>Pavilion &amp; Stage</b>						
71	Pavilion Structure	LS	1	\$ 896,770.00	\$ 896,770.00	
72	Pavilion Foundation	LS	1	\$ 200,000.00	\$ 200,000.00	
73	Structure ADA Ramp	SF	250	\$ 22.50	\$ 5,625.00	
74	Stairs	SF	340	\$ 125.00	\$ 42,500.00	
75	Raised Planter Wall	LF	48	\$ 425.00	\$ 20,400.00	
76	Raised Platform Wall	LF	173	\$ 425.00	\$ 73,525.00	
77	ADA Ramp Retaining Wall	LF	36	\$ 325.00	\$ 11,700.00	
78	Stair and Ramp Railing	LF	85	\$ 585.00	\$ 49,725.00	
79	ROXBOX Pavilion Storage/Green Room Container	LS	1	\$ 76,900.00	\$ 76,900.00	

	<i>Subtotal (Pavilion &amp; Stage)</i>					\$	1,377,145.00		
	<b>Splash Pad</b>								
80	Splash pad (incl. Mechanical Vault)	LS	1	\$	100,000.00	\$	100,000.00		
81	Splash Pad Concrete Colored	SF	490	\$	25.00	\$	12,250.00		
82	ROXBOX Restroom	LS	1	\$	96,600.00	\$	96,600.00		
83	Restroom Slab	SF	233	\$	12.00	\$	2,796.00		
	<i>Subtotal (Splash Pad)</i>					\$	211,646.00		
	<b>Playground</b>								
84	EWF w/ Slot Drain	SF	1070	\$	9.00	\$	9,630.00		
85	Playground Thickened Edge	LF	60	\$	25.00	\$	1,500.00		
86	Playground Option A	LS	1	\$	180,000.00	\$	180,000.00		
87	Playground Option B	LS	1	\$	136,870.00	\$	136,870.00	not summed	
88	Playground Option C	LS	1	\$	134,767.00	\$	134,767.00	not summed	
	<i>Subtotal (Playground)</i>					\$	191,130.00		
	<b>Furnishings</b>								
89	ADA Picnic Tables	EA	1	\$	9,928.00	\$	9,928.00		
90	Picnic Tables	EA	5	\$	11,308.00	\$	56,540.00		
91	Bike Racks	EA	8	\$	928.00	\$	7,424.00		
92	Bollards	EA	12	\$	1,300.00	\$	15,600.00		
93	Removable Bollards	EA	13	\$	3,000.00	\$	39,000.00		
94	Vehicular Removable Bollards	EA	8	\$	3,000.00	\$	24,000.00		
95	Streetlife Green Isles	EA	4	\$	27,500.00	\$	110,000.00		
96	Trash Receptacles	EA	2	\$	3,977.00	\$	7,954.00		
97	Recycle Receptacles	EA	2	\$	3,977.00	\$	7,954.00		
98	Tree Rings	EA	17	\$	2,600.00	\$	44,200.00		
	<i>Subtotal (Furnishings)</i>					\$	322,600.00		
	<b>Electrical</b>								
99	Site Electrical Allowance	AL	1	\$	887,770.00	\$	887,770.00	Excludes Transformer	
	<i>Subtotal (Electrical)</i>					\$	887,770.00		
	<b>SUBTOTAL SITE PACKAGE</b>						\$	4,911,051.80	
	<b>Mobilization and General Conditions</b>								
	<b>General Conditions</b>								
100	Mobilization/General Conditions/Bond/ Insurane	LS	1	\$	525,000.00	\$	525,000.00	12 Month Duration	
	<b>SUBTOTAL MOBILIZATION AND GENERAL CONDITIONS</b>						\$	525,000.00	
	<b>TOTAL COST OF CONSTRUCTION</b>						\$	5,436,051.80	
	<b>Construction Contingency</b>								
1	Construction Contingency	%	10	\$	491,105.18	\$	491,105.18		
	<b>SUBTOTAL CONTINGENCY</b>						\$	491,105.18	
	<b>TOTAL COST OF CONSTRUCTION WITH CONTINGENCY</b>						\$	5,927,156.98	

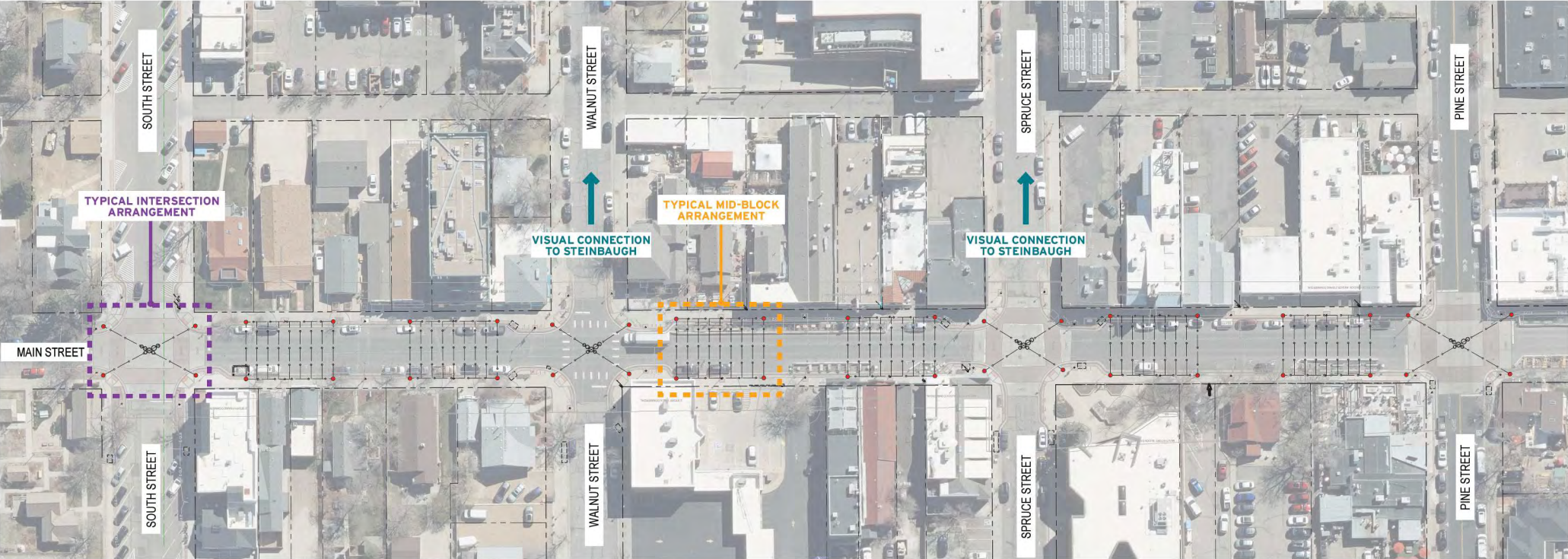


# CITY OF LOUISVILLE FRONT & CENTER PROJECT MAIN STREET

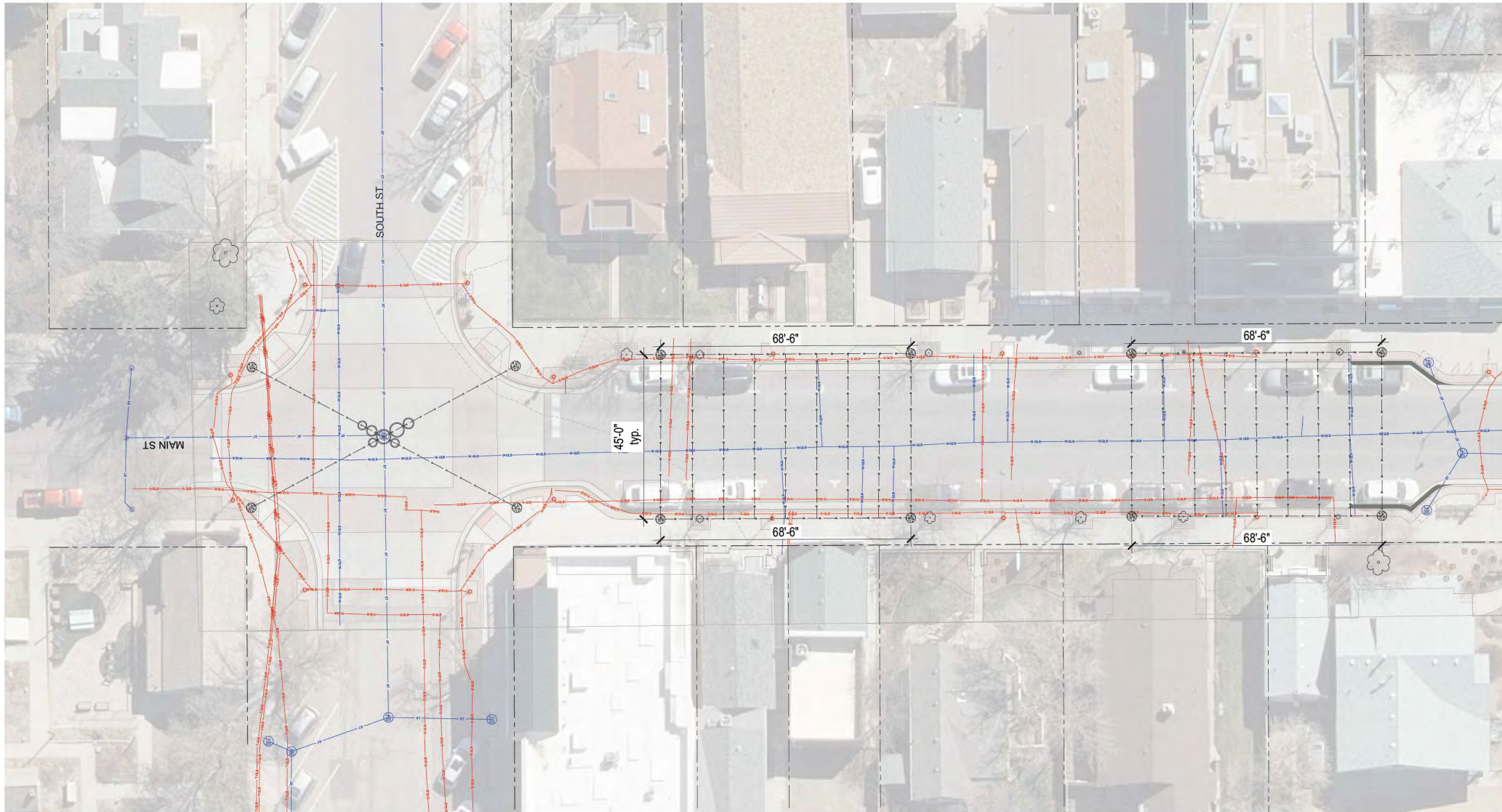


FEBRUARY 19, 2026

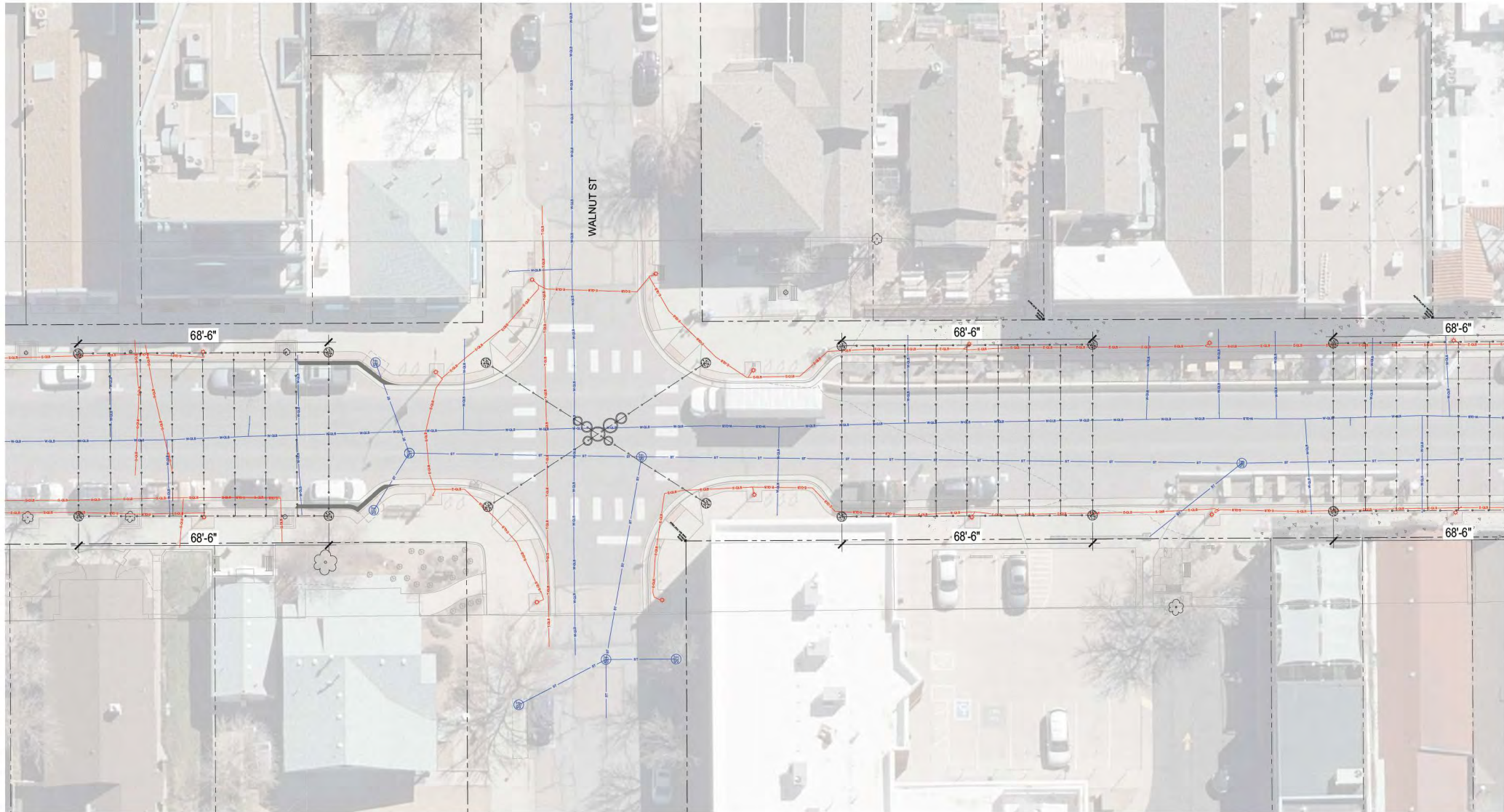
# OVERALL CATENARY ARRANGEMENT



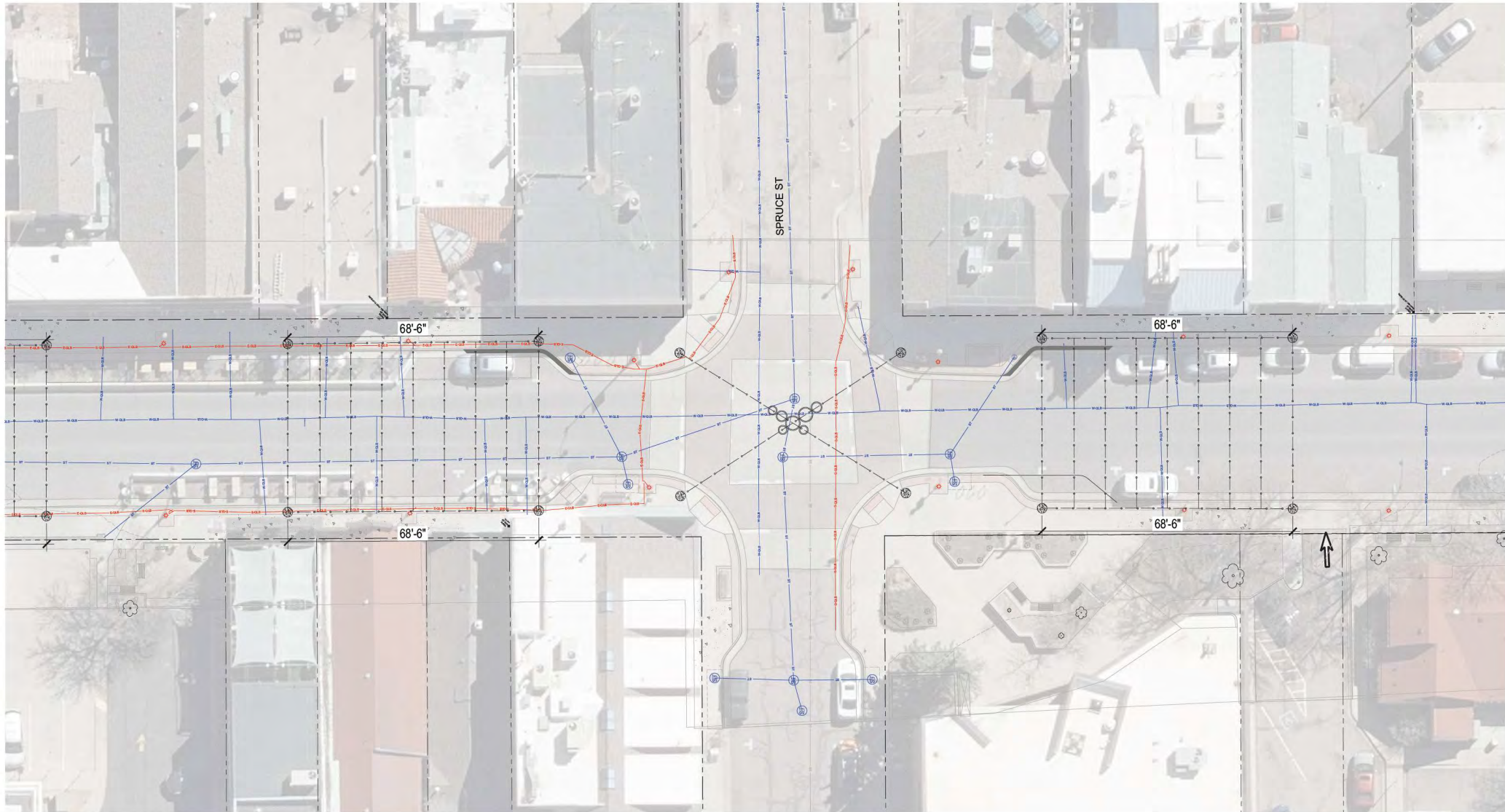
# CATENARY LIGHTINGS STUDY



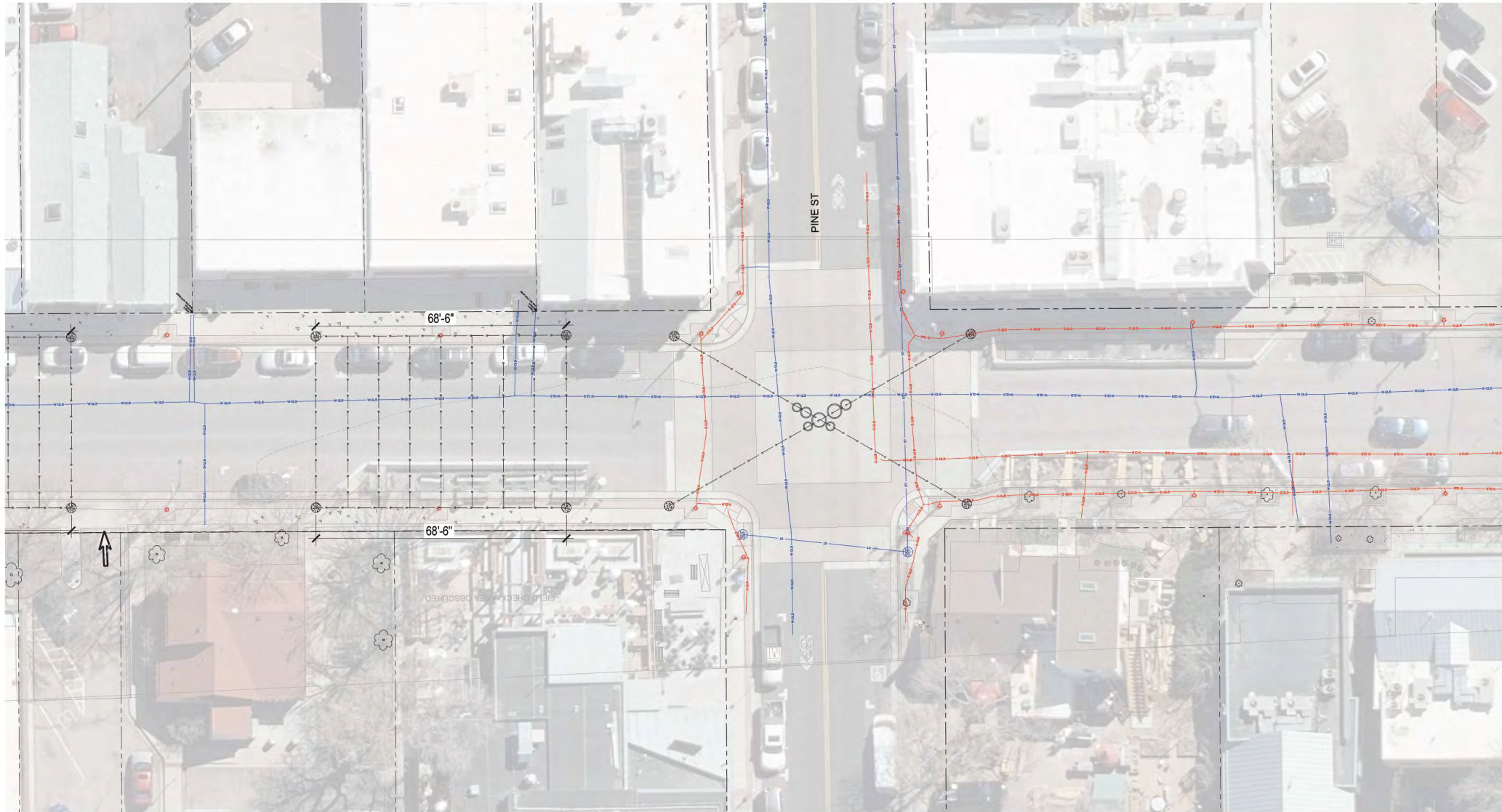
# CATENARY LIGHTINGS STUDY



# CATENARY LIGHTINGS STUDY



# CATENARY LIGHTINGS STUDY



## UNIQUE CATENARY ARRANGEMENTS



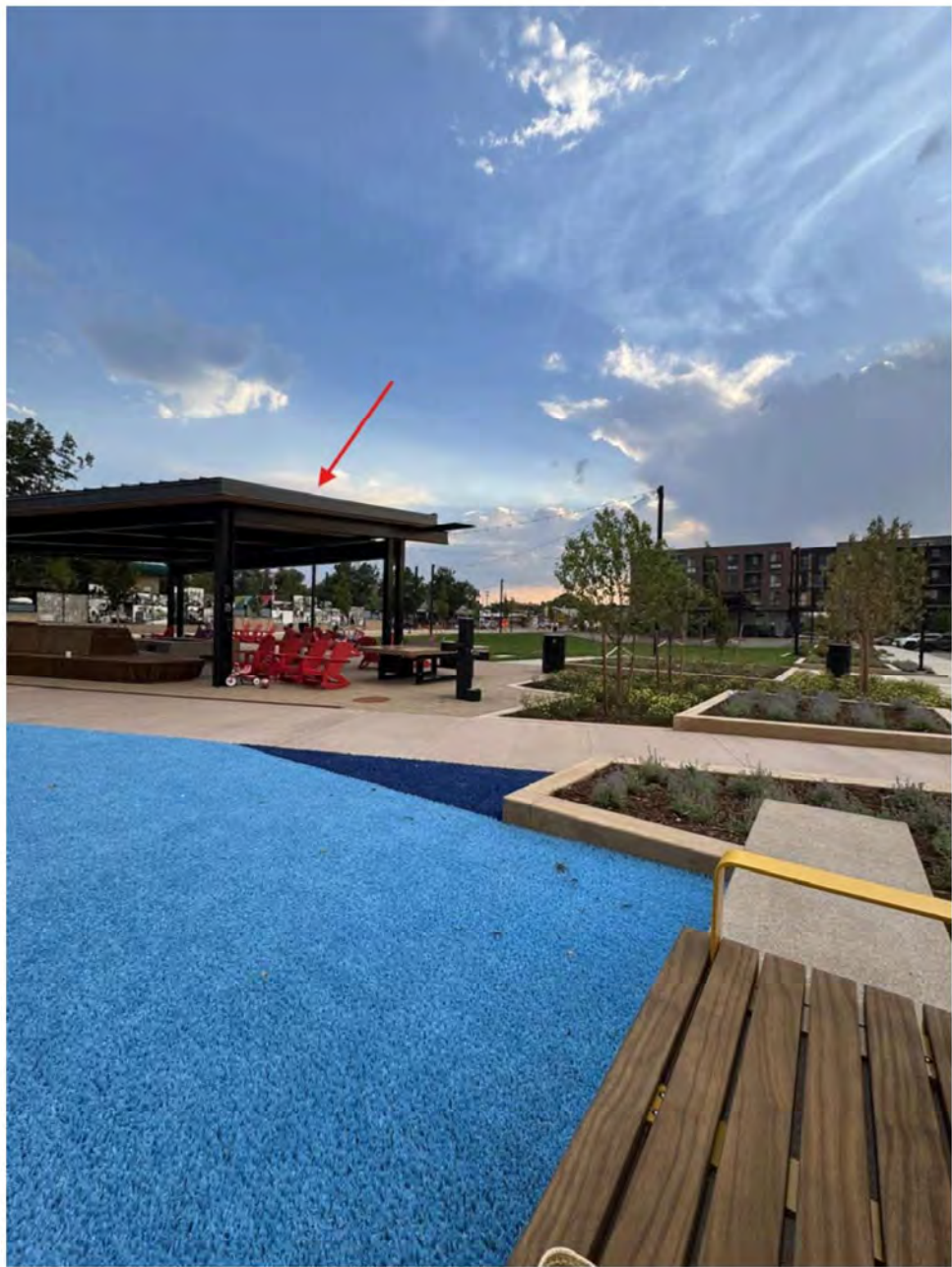
MAIN STREET COST ESTIMATE

**BID SCHEDULE**

ITEM #	ITEM DESCRIPTION	UNIT	QUANTITY	UNIT COST	TOTAL COST	NOTES AND ASSUMPTIONS
<b>Intersection placement</b>						
	Streetscape Cantanery Light Poles	EA	16	\$ 9,200.00	\$ 147,200.00	(4) 20' poles x (4) intersections
	Streetscape Cantanery Light Poles Footers	EA	16	\$ 2,875.00	\$ 46,000.00	(4) 3' x 6' footers x (4) intersections
	Streetscape Light Globes (Intersections)	EA	28	\$ 1,380.00	\$ 38,640.00	(7) globes x (4) interesections
	Streetscape Festoon Lighting	LF	696	\$ 150.00	\$ 104,400.00	(2) strings x (4) intersections
	<b>Subtotal (Site Prep and Erosion Control)</b>				<b>\$ 336,240.00</b>	
<b>Mid-block placement</b>						
	Streetscape Cantanery Light Poles	EA	24	\$ 9,200.00	\$ 220,800.00	(4) 20' poles x (6) mid-block areas
	Streetscape Cantanery Light Poles Footers	EA	24	\$ 2,875.00	\$ 69,000.00	(4) 3' x 6' footers x (6) mid-block areas
	Streetscape Festoon Lighting	LF	3,408	\$ 150.00	\$ 511,200.00	(11) strings x (6) mid-block areas
	<b>Subtotal (Site Prep and Erosion Control)</b>				<b>\$ 801,000.00</b>	

\$60,000	Electrical allowance
\$1,197,000	Subtotal
\$119,724	10% contingency
\$1,316,964	<b>TOTAL</b>

ATTACHMENT 3 - PICTURE OF COVERED  
STRUCTURE AT GREEN @ 38TH PROJECT







**Soil Cells vs Traditional  
Traditional on Left, Soil Cell on Right**



**Question 1:** I'm mostly interested in reconciling how the wide divergence of the Main St cost estimates presented by staff complicate the LRC's formulation of recommendations to Council. Here are the four sets of budget/cost estimates you've presented in your most recent Front & Center updates:

1. August '25 LRC Mtg, 10% Design Bgt: Front St = \$5.7M, Main St = \$1.7M
2. Feb 11, '26 LRC Mtg, 30% Design Bgt: Front St = \$6.2M, Main St = \$3M ("Low Impact")
3. Feb 25, '26 Council/LRC Mtg, 30% Cost Est: Front St = \$5.9M, Main St = \$860k + TBD's
4. Feb 25, '26 Council/LRC Mtg, 30% Design Bgt: Front St = \$6.2M, Main St = \$1M ("High Impact")

These estimates raise a couple of concerns:

1. The Front St estimates vary only marginally, but Main St estimates and TBD's diverge by up to \$2M, even over the course of the past two weeks.
2. Until our joint meeting with Council, the LRC didn't learn the extent to which staff proposes cutting back on Main St improvements in order to maximize Front St investment.

These concerns could make the LRC's work more difficult in formulating recommendations for Council. I'm interested in your thoughts about this.

**Response:** The wide variation in costs for Main Street is due to the varying design alternatives that the design team has presented to the LRC. Earlier iterations of the design for Main Street included extensive concrete work and landscaping in addition to the lighting elements. As design progressed and costs became clearer, Main St improvements were scaled back for this phase of the work in an effort to stay within the project budget. The project team did not feel that bumpouts added significant value for the cost and therefore focused primarily on lighting in the latest concept plan as this seemed to provide the most benefit for the least amount of cost. If bumpouts and/or landscaping are preferred for Main St, staff recommends constructing these in a future phase of the project. Current concept is to focus primarily on lighting on Main St for this phase of the project. Minor landscaping may be possible if budget allows.

**Question 2:** Lighting on Main – What exactly is included in those numbers? Kurt mentioned several different lighting ideas, but I'm not sure which ones are represented in the budget or whether they vary in cost.

**Response:** The concept plan showing the improvements associated with these costs is included as an attachment (“Overall Catenary Arrangement”). This includes new poles, foundations and string lighting at four (4) Main St intersections including: South Street, Walnut Street, Spruce Street, and Pine Street. It also includes string lighting at mid-block locations along the 3 blocks located between Pine and South Street.

**Question 3:** Bike corral and wayfinding – I didn’t see these items listed separately. Are they included within another category, or are they not budgeted yet?

**Response:** Bike corrals are included in the cost estimate under “Furnishings” (line item no. 91). Wayfinding is not included in the current budget, but it is anticipated to be a fairly minor cost (<\$20,000) based on project team discussions. This will be included in all future budget updates.

**Question 4:** Plantings on Main Street – Does this refer to pots, or in-ground plantings like the ones currently at the northwest and southwest corners of South and Main?

**Response:** The current Main St concept includes budget for lighting only. Addition of plantings would require additional funding beyond the \$860,000 budgeted for Main St. Either pots or in-ground plantings are an option. Based on information from other municipalities, these plantings require significant ongoing maintenance cost.

**Question 5:** I wanted to pass along some resources shared with me from a colleague in park and landscape design that could serve as an alternative to artificial turf. I completely appreciate how natural turf just won't function well given the multi-use purpose of the space, but am hesitant to simply default to artificial turf. I'd be curious to get quotes on the following options if they have not already been considered:

*Sustainable cork surface:* <https://corkeen.com/en/>

*Resin-bound gravel:* <https://www.stabilizersolutions.com/products/stalok-paving-material/>  
(this is currently in-use by City of Boulder's OSMP near the Chautauqua Ranger Cottage)

It's possible that using an alternative permeable surface like one of the above might deter dog waste and both seem to have a potentially long shelf-life when installed properly. I'd also be curious to consider eliminating the mounded area (which was appealing as grass, but perhaps limiting in the ways the space will actually be used).

Is it worth revisiting the splash pad with the library community? I recall from initial community input that they had a strong preference for it...but perhaps with more flexible space and play area, they would be supportive of its removal. Additional plantings or rain gardens might help soften the area and create little pockets of play and exploration for the younger audience.

**Response:** The project team feels strongly that a “green” area is necessary to break up the hardscape of the plaza. While the proposed surfaces may offer sustainable alternatives, they do not provide the green space that the project team feels is necessary to create an attractive, functional space. There are two primary alternatives to create this green space: sod or artificial turf. While sod would create a more natural space, the maintenance required makes it an unattractive alternative. It would require irrigation and likely replacement on an annual basis adding significant maintenance costs over the long-term. While artificial turf may require occasional hosing down, it requires significantly less water than sod. With the events planned in the area, sod would likely deteriorate quickly each summer and not perform as well as an artificial alternative. The project team has toured several artificial turf installations, spoken with those who maintain the turf, and spoken with the City’s Parks Department. Based on these discussions, the project team feels that artificial turf is best-suited to provide the desired green space, while limiting future costs and maintenance issues.

The project team strongly recommends artificial turf. If in the future, the artificial turf does not perform adequately, it could always be replaced with sod or another alternative.

Cultural Services strongly supports the splash pad as does the project team. The splash is an amenity that tends to draw children and families and is a great feature in such close proximity to the library. The splash pad will activate the area, provide an interesting visual amenity, and bring families to the plaza.

**Question 6:** Is Wayfinding included in the cost estimates? If so, what is budgeted? If not, why was this removed from the project?

**Response:** Wayfinding is not included in the project budget and will be added. Based on initial discussions between Public Works, Community Development, and RVI, the wayfinding implementation is likely to be <\$20,000. Simple signs on posts will comprise most of the wayfinding signage. Large-scale monument signs, which would add significant additional cost, are not included. A wayfinding allowance will be included in all future cost estimates.

**Question 7:** What is cost savings for removing the mound? What is cost or cost savings of replacing turf with hardscape or soft surface playground type material?

**Response:** The cost savings for removing the mound are negligible. Removing the mound would eliminate some fill required to create the mound and that's it. This is probably on the order of \$5,000 or less. The design team feels strongly that a green space is needed to break up the significant amount of hardscape being installed with the project and strongly discourages additional hardscape in this space. Soft surface playground material will not serve the same function as a green space and it will discourage residents from utilizing the space as intended (e.g. sitting, picnics, etc.). There would be no anticipated savings to replace the turf with a soft surface playground material and would likely increase the cost \$1-\$2 per square foot.

**Question 8:** What is cost savings for removing splash pad (24' diameter, approx. 450 SF)?

**Response:** Removing the splash pad would save \$115,050. This includes removal of the splash pad and mechanical infrastructure. Note that eliminating the splash pad would also eliminate the requirement for the permanent bathroom, which would eliminate another \$96,600; however, there may be a desire to keep the restroom for day-to-day use even if the splash pad is eliminated. Total savings if eliminating the restroom and splash pad is \$211,650.

**Question 9:** What are the additional costs or cost savings of replacing wood poles with metal poles on pavilion and removing support poles to open up view sheds to stage?

**Response:** In discussions with the contractor, ECI, it's difficult to determine an exact delta without knowing the size/shape of the steel members, but ECI felt there would be negligible cost savings associated with this change. It should be noted that the pavilion design is heavily-influenced by feedback from the Focus Group that encouraged a design that provided a historical nod to Louisville's mining heritage. The wood poles and overall aesthetic of the pavilion are a large part of this historical nod. As for removing pavilion columns, it is not feasible as these columns provide structural support for the pavilion. While it may be possible to remove a column or two and cantilever some of the loads this would likely add substantial cost.

**Question 10:** What are costs of trees and landscaping? We noted that this is not linear, as there is some base infrastructure that is needed regardless of if we have 5 or 20 trees, but any cost estimates related to potential savings for cutting back on the number of trees would be helpful.

**Response:** In discussions with ECI, it was noted that it's difficult to establish a per tree price due to the additional components included in the planting system (e.g. soil cells, irrigation, etc.). ECI did confirm that economies of scale are achieved with trees – the more trees planted, the cheaper each tree becomes on a per tree basis. This is because efficiencies are gained through the soil cell system, irrigation, etc. While a current estimate may be \$10-12k per tree, if substantial trees are eliminated this may rise to \$15-17k per tree. It should be noted that the tree canopy is an integral part of the design. It is critical to have ample shade in the summer to make this an attractive space. Even with the current number of trees there will be sunny spots and shady spots. People who visit the space can choose whether they want sunshine or shade. With the removal of trees, the shady spots will be significantly reduced and may make the space a more unappealing gathering space in the summer months.

**Question 11:** What is the cost of adding anchors for the large tent desired by Street Faire?

**Response:** An initial estimate for an anchoring system is approximately \$15,000 - \$20,000 depending on the tent size. An anchor will be required for each support pole on the tent. These anchors will have a visual impact on the site as they need to be covered when not in use, so there will be several boxes or small vaults throughout the plaza area to contain these anchors. While it will negatively impact the site aesthetically, it will also limit any future flexibility. These anchors are typically customized for a particular tent system. If the tent ever needs to be replaced and the same model can't be procured, the anchor system will likely no longer function adequately and the tent will need to be anchored by water barrels or driving additional stakes into the plaza area.

**Question 12:** For the current Main Street lighting cost estimate, what scope does that cover? Is there more than one option with differing cost estimates?

**Response:** The \$860,000 included in the budget for Main St includes lighting a 4 intersections (Pine, Spruce, Walnut, and South St) and mid-block lighting along 3 blocks of Main St (Pine through South Street). The cost includes the poles, foundations, lighting

equipment, electrical infrastructure, and controls for the lighting along this corridor. The attached exhibit shows the layout of the proposed lighting along Main St.

**Question 13:** What is the cost of the extended brick bump outs and new directional crosswalk configuration?

**Response:** It is estimated that each intersection would cost approximately \$500,000 to upgrade to bumpouts at all 4 corners. This includes the hardscape and landscaping costs which include planters and small trees, but does not include the lighting costs. Intersection lighting would be in addition to this and would be approximately \$100,000 including poles, bases, catenary lighting, and electrical.

**Question 14:** What is the cost and scope of the enhanced landscaping that is being considered in lieu of the extended brick bump outs?

**Response:** The current Main St concept is for lighting only. The project team would need to evaluate how much space is available for landscaping if the bumpouts aren't constructed; however, if space is adequate it's anticipated that landscaping improvements could be accomplished for approximately \$120,000 per intersection. This would include per intersection: 4 trees, 12 small planter pots, 4 large planter pots, and irrigation upgrades. In-ground planting beds may reduce this cost slightly, but not significantly. Note that ongoing maintenance for planter pots and flower beds is significant and likely would require additional funding beyond current Parks department maintenance budgets.

**Question 15:** There is an \$800k item for "Plaza Parking and Streetscape." They would like more detailed information on what this scope includes.

**Response:** These costs cover all of the finishes in the plaza area including turf, pavers, concrete, paving, etc.

**Question 16:** If there a high-level estimate of difference in cost between curb-less vs curbed east side of Front Street?

**Response:** This is not recommended by the project team. A core element of the Vision Plan was a curbless Front St. However, it's estimated that keeping the existing curb on the east side of Front St would save at most \$50,000 in paving, base course, and valley pan costs.





<b>PROJECT:</b>	<b>Louisville 30% Streetscapes</b>	<b>DATE:</b>	<b>12/19/2025</b>
<b>Plan Drawings:</b>			
<b>Addendum:</b>			
<b>Note:</b>	<b>SUB-CONTRACTORS NEED TO FILL OUT THIS BID FORM ACCORDING TO THEIR SCOPE AND ATTACH A PROPOSAL TO QUALIFY.</b>		

**ROUGH ORDER OF MAGNITUDE**

ITEM #	ITEM DESCRIPTION	UNIT	QUANTITY	UNIT COST	TOTAL COST
<b>Erosion Control</b>					
1	Construction Fence Chain Link	LF	2,614	\$ 6.25	\$ 16,337.50
2	CWA	EA	1	\$ 3,950.00	\$ 3,950.00
3	Inlet Protection	EA	10	\$ 450.00	\$ 4,500.00
4	Rock Socks	EA	10	\$ 220.00	\$ 2,200.00
5	Tree Protection	LF	212	\$ 5.85	\$ 1,240.20
6	Erosion Control Maintenance and Management	LS	1	\$ 15,560.00	\$ 15,560.00
7					
<i>Subtotal (Erosion Control)</i>					<b>\$ 43,787.70</b>
<b>Demolition/Site Prep</b>					
8	Remove Existing Curb and Gutter	LF	314	\$ 5.75	\$ 1,805.50
9	Remove Existing Sidewalk	SF	13,860	\$ 4.50	\$ 62,370.00
10	Remove Existing Asphalt	SF	180	\$ 4.50	\$ 810.00
11	Remove and Salvage Existing Pavers	SF	3,950	\$ 5.50	\$ 21,725.00
12	Remove Existing Benches	EA	10	\$ 475.00	\$ 4,750.00
13	Remove Existing Bike Racks	EA	27	\$ 475.00	\$ 12,825.00
14	Remove Existing Trash/Recycle Receptacles	EA	8	\$ 475.00	\$ 3,800.00
15	Remove and Salvage Street Signs	EA	8	\$ 475.00	\$ 3,800.00
16	Remove Plating Areas	CY	9	\$ 54.00	\$ 486.00
17	Protect Existing Allowance	LS	1	\$ 7,500.00	\$ 7,500.00
18	Pedestrian/Traffic Control	LS	1	\$ 100,000.00	\$ 100,000.00
19	Potholing	LS	1	\$ 35,000.00	\$ 35,000.00
<i>Subtotal (Demolition/Site Prep)</i>					<b>\$ 254,871.50</b>
<b>Earthwork</b>					
18	Excavate and Export 3' Existing Soil	CY	1,160	\$ 115.00	\$ 133,400.00
19	Import CU Structural Soil	CY	1,160	\$ 320.00	\$ 371,200.00
20	Subgrade Prep 12" Scarify and Recompact	SF	19,846	\$ 0.82	\$ 16,273.72
21					
<i>Subtotal (Earthwork)</i>					<b>\$ 520,873.72</b>
<b>Utilities - Water</b>					
22	3/4" Tap for Irrigation	LS	1	\$ 14,000.00	\$ 14,000.00
23	3/4" Type K Copper Irrigation Water Service	LF	36	\$ 100.00	\$ 3,600.00
24	3/4" Water Meter Pit	LS	1	\$ 5,200.00	\$ 5,200.00
25					
<i>Subtotal (Water)</i>					<b>\$ 22,800.00</b>
<b>Hardscapes</b>					
26	Paver Sub Slab, 4" Concrete	SF	16,388	\$ 7.00	\$ 114,716.00
27	Pedestrian Paving	SF	2,870	\$ 10.00	\$ 28,700.00
28	Concrete Curb and Gutter Grate(Per Detail I Sheet LS501)	LF	128	\$ 185.00	\$ 23,680.00
29	Curb and Gutter	LF	332	\$ 60.00	\$ 19,920.00
30	Tree Grate Band	LF	644	\$ 32.00	\$ 20,608.00
31	Reset Existing Pavers	SF	3,950	\$ 14.00	\$ 55,300.00
32	Paver Type 1	SF	2,027	\$ 40.00	\$ 81,080.00
33	Paver Type 2	SF	10,411	\$ 40.00	\$ 416,440.00
34	Fine Grade +/- .1'	LS	1	\$ 21,200.00	\$ 21,200.00

35	R&R Concrete Paving	SF	1200	\$ 19.00	\$ 22,800.00
36	R&R Asphalt Paving	SF	3000	\$ 11.00	\$ 33,000.00
37					
	<b>Subtotal (Hardscape)</b>				<b>\$ 837,444.00</b>
	<b>Signage and Striping</b>				
38	Signage Type D	EA	4	\$ 10,054.00	\$ 40,216.00
39	Signage Type P	EA	4	\$ 1,917.00	\$ 7,668.00
40	Reset Street Signs	EA	8	\$ 575.00	\$ 4,600.00
41					
	<b>Subtotal (Signage and Striping)</b>				<b>\$ 52,484.00</b>
	<b>Landscape and Irrigation</b>				
42	Deciduous Trees 2" Cal.	EA	39	\$ 850.00	\$ 33,150.00
43	Boring for Irrigation Sleeves	LF	806	\$ 95.00	\$ 76,570.00
44	Irrigation - ALLOWANCE	LS	1	\$ 75,000.00	\$ 75,000.00
45					
	<b>Subtotal (Landscape)</b>				<b>\$ 184,720.00</b>
	<b>Electrical</b>				
46	Electrical - ALLOWANCE	AL	1	\$ 334,200.00	\$ 334,200.00
47					
	<b>Subtotal (Electrical)</b>				<b>\$ 334,200.00</b>
	<b>Site Furnishings</b>				
48	Benches	EA	17	\$ 5,879.95	\$ 99,959.15
49	Bike Racks	EA	32	\$ 928.00	\$ 29,696.00
50	Large Planters	EA	5	\$ 3,353.00	\$ 16,765.00
51	Medium Planters	EA	20	\$ 1,656.00	\$ 33,120.00
52	Small Planters	EA	36	\$ 1,578.00	\$ 56,808.00
53	Trash Receptacles	EA	6	\$ 3,976.70	\$ 23,860.20
54	Recycle Receptacles	EA	6	\$ 3,976.70	\$ 23,860.20
55	Tree Grates (Streetscapes)	EA	40	\$ 2,250.00	\$ 90,000.00
56					
	<b>Subtotal (Site Furnishings)</b>				<b>\$ 374,068.55</b>
	<b>SUBTOTAL SITE PACKAGE</b>				<b>\$ 2,625,249.47</b>
	<b>Mobilization and General Conditions</b>				
	<b>General Conditions</b>				
57	Mobilization/GC's, Bond, Insurance	LS	1	\$ 210,000.00	\$ 210,000.00
	<b>SUBTOTAL MOBILIZATION AND GENERAL CONDITIONS</b>				<b>\$ 210,000.00</b>
	<b>TOTAL COST OF CONSTRUCTION</b>				<b>\$ 2,835,249.47</b>
	<b>Construction Contingency</b>				
1	Construction Contingency	%	10	\$ 262,524.95	\$ 262,524.95
	<b>TOTAL CONTINGENCY</b>				<b>\$ 262,524.95</b>
	<b>TOTAL COST OF CONSTRUCTION</b>				<b>\$ 3,097,774.42</b>
	<b>Alternate #1</b>				
1	Asphalt Removal	SY	1,667	\$ 4.50	\$ 7,501.50
2	Vehicular Concrete	SF	8,446	\$ 25.00	\$ 211,150.00
3	Vehicular Pavers	SF	6,554	\$ 45.00	\$ 294,930.00
4	Paver Sub Slab, 5"	SF	6,554	\$ 8.50	\$ 55,709.00
5			0	\$ -	\$ -
	<b>Subtotal Alternate #1 Pricing</b>				<b>\$ 569,290.50</b>



LOUISVILLE  
FRONT & CENTER



REV.	COMMENT	DATE

30% CONSTRUCTION  
DOCUMENTS

Date: 12.01.2025

Drawn By: PR

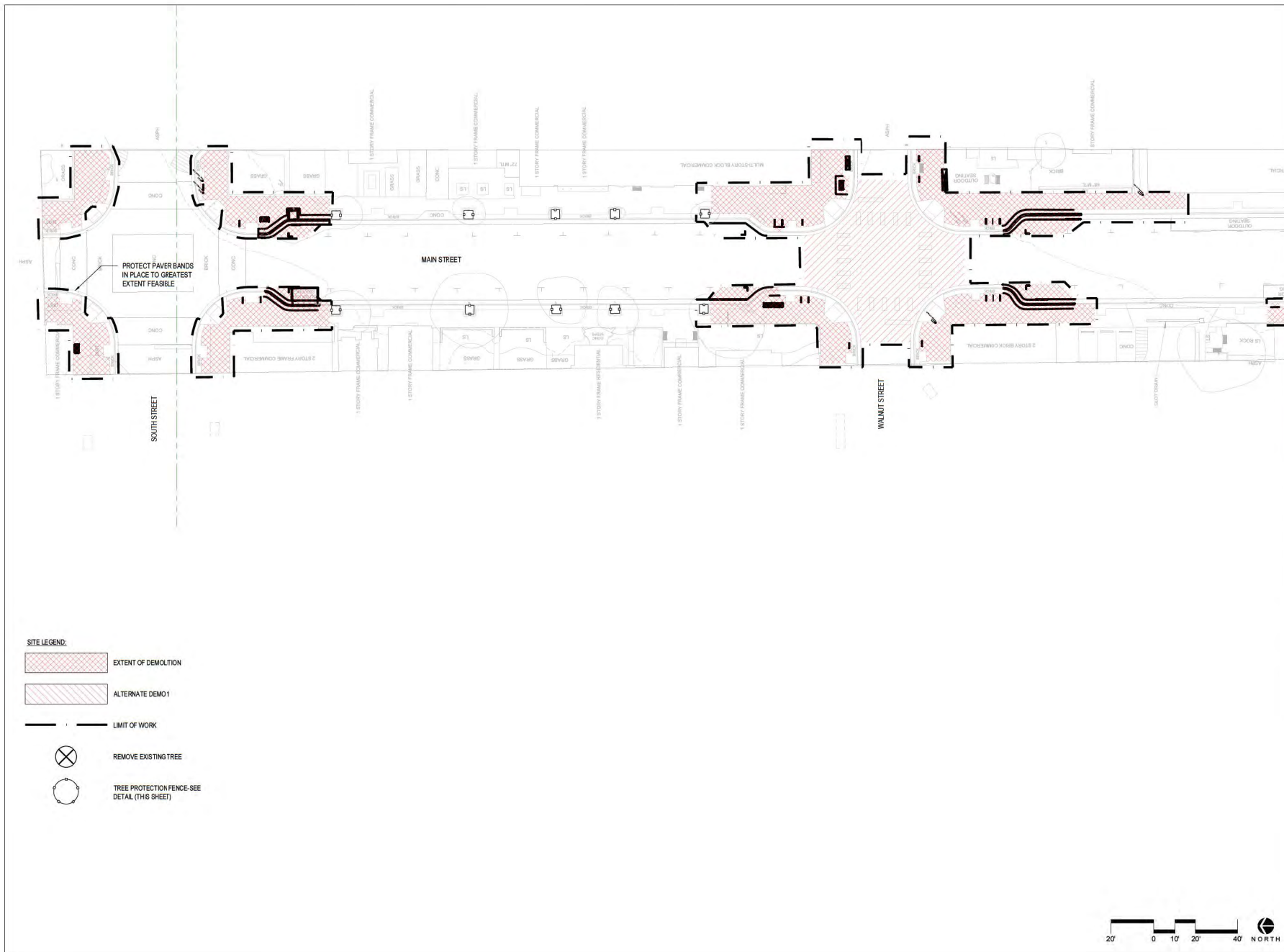
Checked By: JB

Sheet Name

DEMO PLAN

Sheet

D101





LOUISVILLE  
FRONT & CENTER



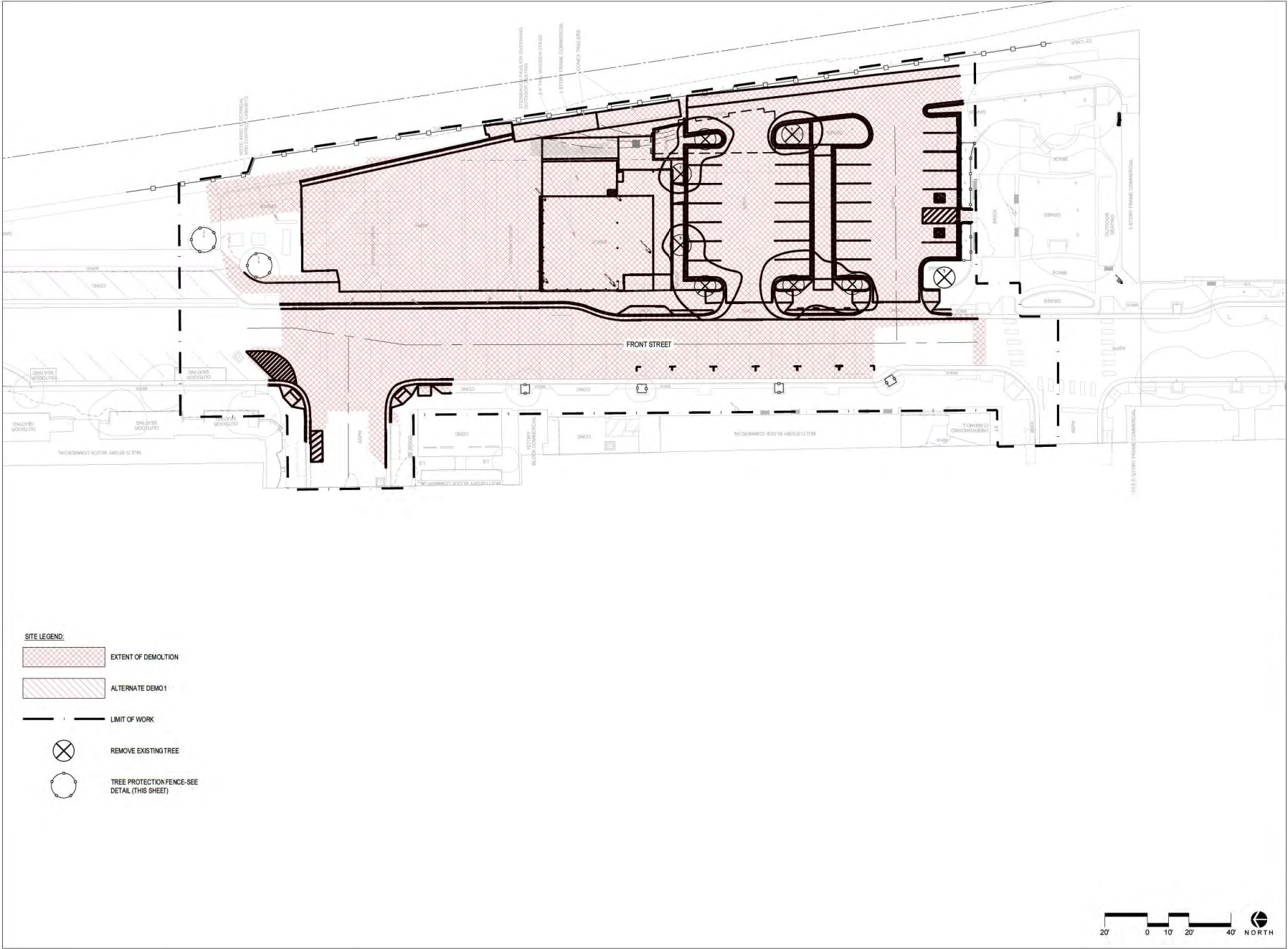
REV.	COMMENT	DATE






30% CONSTRUCTION DOCUMENTS

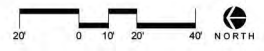
Date: 12.01.2025  
 Drawn By: PR  
 Checked By: JB

Sheet Name  
 DEMO PLAN

Sheet  
 D103



- SITE LEGEND:**
-  EXTENT OF DEMOLITION
  -  ALTERNATE DEMO 1
  -  LIMIT OF WORK
  -  REMOVE EXISTING TREE
  -  TREE PROTECTION FENCE-SEE DETAIL (THIS SHEET)





REV	COMMENT	DATE

30% CONSTRUCTION DOCUMENTS

Date: 12/01/2025

Drawn By: NSB

Checked By: xt, crg

Sheet Name

GENERAL LEGEND NOTES AND ABB.

Sheet

C0.1

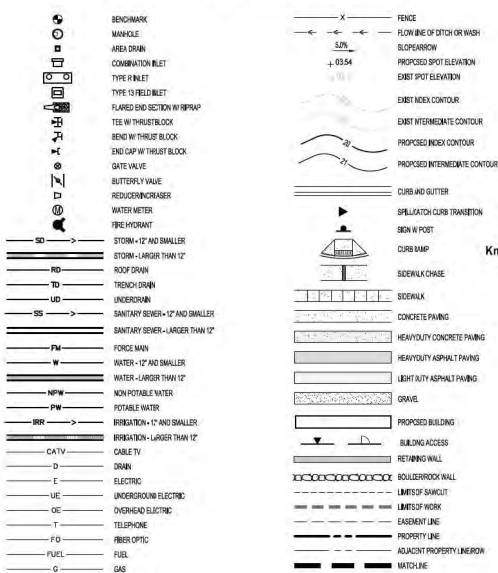


Know what's below. Call before you dig.

GENERAL NOTES

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE CITY OF LOUISVILLE, COLORADO DEPARTMENT OF TRANSPORTATION, CITY OF LOUISVILLE FIRE PROTECTION REQUIREMENTS, AND APPLICABLE STATE AND LOCAL STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL HAVE IN POSSESSION AT THE JOB SITE AT ALL TIMES THE LATEST COPY OF APPROVED PLANS, STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EMERGENCY ACCESS ROUTES TO THE SITE AND STRUCTURE AT ALL TIMES PER THE APPLICABLE CITY OF LOUISVILLE FIRE PROTECTION DISTRICT REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ANY VARIANCE TO THE ABOVE DOCUMENTS. NOTIFY AN ENGINEER OF ANY CONFLICTING STANDARDS OR SPECIFICATIONS. IN THE EVENT OF ANY CONFLICTING STANDARDS OR SPECIFICATIONS, THE MORE STRINGENT OR HIGHER QUALITY STANDARD, DETAIL OR SPECIFICATION SHALL APPLY.
- THE CONTRACTOR SHALL DETAIL AT THEIR OWN EXPENSE, ALL APPLICABLE CODES, LICENSES, STANDARD SPECIFICATIONS, PERMITS, BONDS, ETC. WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK, INCLUDING BUT NOT LIMITED TO LOCAL AND STATE GROUNDWATER DISCHARGE AND COLORADO DEPARTMENT OF HEALTH AND ENVIRONMENT (COHSE) STORMWATER DISCHARGE PERMIT ASSOCIATED WITH CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE REQUIRED PARTY CITY OF LOUISVILLE INSPECTOR, GEOTECHNICAL ENGINEER, ENVIRONMENTAL ENGINEER/INDUSTRY UTILITY AT LEAST 48 HOURS PRIOR TO START OF ANY CONSTRUCTION, PRIOR TO BACKFILLING AND AS REQUIRED BY JURISDICTIONAL AUTHORITY AND/OR PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL CONTINUE WITH NOTIFICATIONS THROUGHOUT THE PROJECT AS REQUIRED BY THE STANDARDS AND SPECIFICATIONS.
- THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN IN THE APPROPRIATE LOCATION BASED ON INFORMATION BY OTHERS. NOT ALL UTILITIES MAY BE SHOWN. THE CONTRACTOR SHALL DETERMINE THE EXACT SIZE, LOCATION AND TYPE OF ALL EXISTING UTILITIES WHETHER SHOWN OR NOT BEFORE COMMENCING WORK. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS SHOWN ON PLANS. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES AND COSTS WHICH MAY OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY OWNERS AND SET THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO PROCEEDING WITH GRADING AND CONSTRUCTION. ALL WORK PERFORMED IN THE AREA OF UTILITIES SHALL BE PERFORMED AND INSPECTED ACCORDING TO THE REQUIREMENTS OF THE UTILITY OWNER. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MAPPING ANY EXISTING UTILITY (INCLUDING DEPTHS) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION, AND FOR LOCATING AND PRESERVING UTILITIES AS DIRECTED BY THE ENGINEER. CONTRACTOR SHALL CONTACT AND RECEIVE APPROVAL FROM MUNICIPAL UTILITY OWNER AND ENGINEER BEFORE RELOCATING ANY ENCOUNTERED UTILITIES. CONTRACTOR RESPONSIBLE FOR SERVICE CONNECTIONS, AND RELOCATING AND RECONNECTING AFFECTED UTILITIES AS COORDINATED WITH UTILITY OWNER AND/OR ENGINEER. INCLUDING NON-MANIPULATED UTILITIES (TELEPHONE, GAS, CABLE, ETC.) WHICH SHALL BE COORDINATED WITH THE UTILITY OWNER. THE CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER UPON DISCOVERY OF A UTILITY DISCREPANCY OR CONFLICT. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE UTILITY NOTIFICATION CENTER OF COLORADO (1-800-922-1987, WWW.UCCO.ORG). SEE SURVEY UTILITY LOCATION INFORMATION BELOW.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN FOR OWNER AND/OR CITY APPROVAL AND PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGGING, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR AGREES TO COMPLY WITH THE PROVISIONS OF THE TRAFFIC CONTROL PLAN AND THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, PART VI FOR CONSTRUCTION (ISSUED BY THE FEDERAL ROAD ADMINISTRATION). ALL TEMPORARY AND PERMANENT TRAFFIC SIGNS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES WITH REGARD TO SIGN SHAPE, COLOR, SIZE, LETTERING, ETC. UNLESS OTHERWISE SPECIFIED. IF APPLICABLE, PART NUMBERS ON SIGNAGE DETAILS REFER TO MUTCD SIGN GUIDANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THE PROJECT. GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS NOR EROSION OR ABUTTING PROPERTY. CONTRACTOR SHALL OBTAIN AND SECURE ALL NECESSARY PERMITS REQUIRED ON THESE PLANS. GROUNDWATER TO BE PUMPED SHALL BE TESTED, PERMITTED, AND PUMPED PER THE STATE OF COLORADO AND LOCAL GROUNDWATER DISCHARGING PERMIT REQUIREMENTS.
- EXISTING AND PROPOSED ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. THE CONTRACTOR SHALL ADJUST RISERS AND OTHER IMPROVEMENTS TO MATCH FINAL FINISHES. RAMP AND GREAT ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. THE CONTRACTOR SHALL ADJUST RISERS AND OTHER IMPROVEMENTS TO MATCH FINAL FINISHES. ALL MANHOLES WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS NOR EROSION OR ABUTTING PROPERTY. CONTRACTOR SHALL OBTAIN AND SECURE ALL NECESSARY PERMITS REQUIRED ON THESE PLANS. GROUNDWATER TO BE PUMPED SHALL BE TESTED, PERMITTED, AND PUMPED PER THE STATE OF COLORADO AND LOCAL GROUNDWATER DISCHARGING PERMIT REQUIREMENTS.
- THE EXISTING AND PROPOSED ELEVATIONS OF FLOWLINE, SIDEWALKS, CURBS, THRESHOLDS, PAVING, ETC. AS SHOWN HEREON ARE BASED ON EXTRAPOLATION OF FIELD SURVEY DATA, EXISTING CONDITIONS, AND DATA PROVIDED BY OTHERS AT CRITICAL AREAS IDENTIFY CRITICAL AREAS AND SITE FEATURES. CONTRACTOR SHALL HAVE FORMWORK INSPECTED AND APPROVED BY OWNER OR ENGINEER PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SLOPING AND DRAINAGE TO PREVENT PONDING AND TO PREVENT PONDING OR SLOPE NOT IN CONFORMANCE WITH MUNICIPAL STANDARDS. ALL FLOWLINE MUST PREVENT PONDING AND PROVIDE POSITIVE DRAINAGE AWAY FROM EXISTING AND PROPOSED BUILDINGS, WALLS, ROOF DRAIN OUTFALLS, ACROSS DROVES AND WALLS, ETC. TOWARDS THE PROPOSED INTENDED DRAINAGE FEATURES AND CONVEINENCES.
- FINAL LIMITS OF REQUIRED ASPHALT SAWCUTTING AND PATCHING MAY VARY FROM LIMITS SHOWN ON PLANS. CONTRACTOR TO PROVIDE SAWCUT AND PATCH WORK TO ACHIEVE POSITIVE DRAINAGE AND SMOOTH TRANSITION TO EXISTING ASPHALT WITH SURFACE ACCEPTABLE TO THE ENGINEER AND WITHIN MUNICIPAL STANDARDS. CONTRACTOR SHALL PROVIDE ADDITIONAL SAWCUTTING AND PATCHING AT UTILITY WORK, CONNECTION POINTS TO EXISTING PAVEMENT AND FEATURES, ETC. THAT MAY NOT BE DELINEATED ON PLANS.
- ANY EXISTING MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC. TO BE PROTECTED AND TO REMAIN IN SERVICE. IF FEATURES EXIST AT EXISTING OR LOWER TO FINAL FINISHING WITH LIKE KIND CAP WITH STANDARD CAP ACCESS LID WITH SAME MARKINGS. IN LANDSCAPED AREAS PROVIDE A CONCRETE COLLAR (18X18X6" THICK) AT ALL EXISTING AND PROPOSED SURFACE WALLS, CLEANOUTS, VALVE BOXES, ETC.
- OWNER TO APPROVE ALL PRIVATE CONCRETE FINISHING, JOINT PATTERNS AND COLORING REQUIREMENTS PRIOR TO CONSTRUCTION. SUBMIT JOINT LAAYOUT PLAN TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
- PIPE LENGTHS AND HORIZONTAL CONTROL POINTS SHOWN ARE FROM CENTER OF STRUCTURES, END OF FLARED END SECTIONS, ETC. SEE STRUCTURE DETAILS FOR EXACT HORIZONTAL CONTROL LOCATION. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING ACTUAL PIPELENGTHS TO ACCOUNT FOR STRUCTURES AND LENGTH OF FLARED END SECTION.
- ALL SURPLUS MATERIALS, TOOLS, AND TEMPORARY STRUCTURES, FURNISHED BY THE CONTRACTOR, SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR. ALL DEBRIS AND RUBBISH SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR. ALL EXCESS MATERIALS AND DEBRIS FROM THE PROJECT SITE SHALL BE RESTORED TO ITS ORIGINAL CONDITION WITHIN 48 HOURS OF PROJECT COMPLETION, UNLESS OTHERWISE DIRECTED BY THE MUNICIPALITY OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS REQUIRED TO PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE LOCAL JURISDICTION, THE STATE OF COLORADO, MILE HIGH FLOOD DISTRICT URBAN STORM DRAINAGE CRITICAL MAINTENANCE VOLUME, THE MAIN STANDARD PLANS OF THE COLORADO DEPARTMENT OF TRANSPORTATION AND THE APPROVED EROSION CONTROL PLAN. JURISDICTIONAL AUTHORITY MAY REQUIRE THE CONTRACTOR TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES. THE CONTRACTOR'S EXPENSE TO UNDESIRABLE EROSION PROBLEMS OR IF THE PLANS DO NOT FUNCTION AS INTENDED. THE CONTRACTOR IS RESPONSIBLE FOR PROHIBITING SILT AND SOILS FROM LEAVING THE SITE, AND FOR KEEPING ALL PUBLIC AREAS FREE OF MUD AND DEBRIS. THE CONTRACTOR IS RESPONSIBLE FOR RE-Establisging final grades and for removing accumulated sedimentation from ALL AREAS INCLUDING SIDEWALKS AND DETENTION WATER QUALITY AREAS. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER REPAIR AREAS AS REQUIRED AFTER RESTORATION IS ESTABLISHED AND ACCEPTED BY OWNER AND MUNICIPALITY.
- ADA COMPLIANCE: THE CROSS-SLOPE OF ALL WALKWAYS MUST BE LESS THAN 1:48 (2.08% PERPENDICULAR TO DIRECTION OF TRAVEL). RUNNING SLOPE OF ACCESSIBLE WALKWAYS MUST BE NOT STEEPER THAN 1:32 (3.125% DIRECTION OF TRAVEL). MAXIMUM GRADE OF ACCESSIBLE CURB RAMPS AND RAMPS IS 1:12 (8.33%). CURB RAMPS SHALL PROVIDE LANDINGS AT THE TOP AND RAMP RIMS PROVIDE LANDINGS AT THE BOTTOM AND TOP OF EACH RAMP RUN AT A SLOPE NOT TO EXCEED 1:48. RAMPS RUNS EXCEEDING SIX INCHES SHALL INCLUDE HANDRAILS. ACCESSIBLE PARKING SPACES AND ACCESS AREAS SHALL NOT EXCEED 1:48 IN ALL DIRECTIONS. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO PROCEEDING WITH GRADING OF FLOWLINE, SIDEWALKS OR DISCREPANCIES WHICH PRESENT TYPICAL REQUIRED GRADES FROM BEING ACHIEVED. ALL RAMPS, STAIRS, EDGE PROTECTION, AND BALUNES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA STANDARDS. ACCESSIBLE CURB RAMPS SHALL CONFORM TO THE CDDOT'S STANDARDS (SEE DETAIL MA069, ETC.). ACCESSIBLE FEATURE WITHIN THE PUBLIC RIGHTS-OF-WAY SHALL BE CONSTRUCTED TO CONFORM TO THE LOCAL AUTHORITY HAVING JURISDICTION REQUIREMENTS.
- PROTECT ALL TREES AND VEGETATION. PLACE CONSTRUCTION FENCED OFF AREA LINE OF TREES AND PLANTS NEAR THE WORK ZONE. DEEP WATER TREES WEEKLY. HAND EXCAVATION REQUIRED AT ROOT ZONES WHERE PROPOSED PAVING OR UTILITY WORK IS WITHIN 36" OF TREE.
- LOCATIONS OF CLEANOUTS, LIGHTS, SIGNAGE, JUNCTION BOXES, AND OTHER SIGNIFICANT SITE FEATURES TO BE STAKED FOR ENGINEER AND/OR OWNER APPROVAL PRIOR TO WORK. CLEANOUTS, JUNCTION BOXES, AND ADJACENT GRADES TO BE BRANDED ONE-HALF INCH AT ASPHALT/CONCRETE (OR 1" AT LANDSCAPING) TO PROVIDE POSITIVE DRAINAGE AWAY FROM FEATURES.
- SURVEY INFORMATION
  - BENCHMARK INFORMATION: TOPOGRAPHIC INFORMATION WAS PROVIDED BY WS&S. SEE CITY OF LOUISVILLE TOPOGRAPHIC MAP DATED 10/2014. \*TYPE SURVEY'S BENCH MARK TEXT HERE OR USE THIS EXAMPLE: PROJECT BENCHMARK ELEVATION IS 5100.00' @ 1" AT ... LOCAL, MUNICIPAL, ETC. - THE DATUM IS NAD83 PER SURVEY. COORDINATE AND VERIFY ALL VERTICAL AND HORIZONTAL DATA SHOWN IN SURVEY AND REPORT ANY IRREGULARITIES OR DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
  - BASIS OF BEARINGS, SEE PLANS. HORIZONTAL CONTROL INFORMATION: HORIZONTAL CONTROL COORDINATES ARE BASED ON THE REFERENCED SURVEY AND ARE PROVIDED BY THE FOLLOWING POINTS AS SHOWN ON THE PLANS:
    - CR-99 W141036.84 E310302.144 ELEV 52323.74 XY2.35 30° WAKANKA 1889 SET IN CONC
    - CR-90 W22898.54 E152626.265 ELEV 52968.80 XY2 N265 041° 51' 58" STC ROD
- SURVEY UTILITY LOCATION INFORMATION PER THE SURVEY: SUBSURFACE UTILITIES ARE SHOWN IN APPROXIMATE HORIZONTAL AND VERTICAL LOCATIONS CONSISTENT WITH ASCE 30-02 QUALITY LEVEL "B" INFORMATION OBTAINED BY THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXTENT AND THE HORIZONTAL POSITION OF UTILITIES. SUBSURFACE UTILITIES ARE NOT DETECTED TO THE EXTENT SET FORTH IN ASCE 30-02 QUALITY LEVEL "B" INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL "D" INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS, AND BASED ON FIELD MEASUREMENTS PROVIDED BY THE OWNER AND THE CONTRACTOR. SUBSURFACE UTILITIES ARE NOT DETECTED TO THE EXTENT SET FORTH IN ASCE 30-02 QUALITY LEVEL "B" INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL "D" INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS, AND BASED ON FIELD MEASUREMENTS PROVIDED BY THE OWNER AND THE CONTRACTOR. TO THE EXTENT DEEMED NECESSARY FOR THE PROTECTION OF PERSONS AND PROPERTY, PONDING OR OTHER PRECISE MAPPING MAY BE COMPLETED TO CONFIRM THE EXACT LOCATION OF ANY SUBSURFACE UTILITIES. NOTIFY OWNER AND ENGINEER WITH ALL UTILITY INFORMATION PRIOR TO CONSTRUCTION WITH [HTTPS://WWW.FHWA.DOT.GOV/PROGRAMADMIN/SECTION.CFM](https://www.fhwa.dot.gov/programadmin/section.cfm) FOR MORE INFORMATION.

DESIGN LEGEND



ABBREVIATIONS

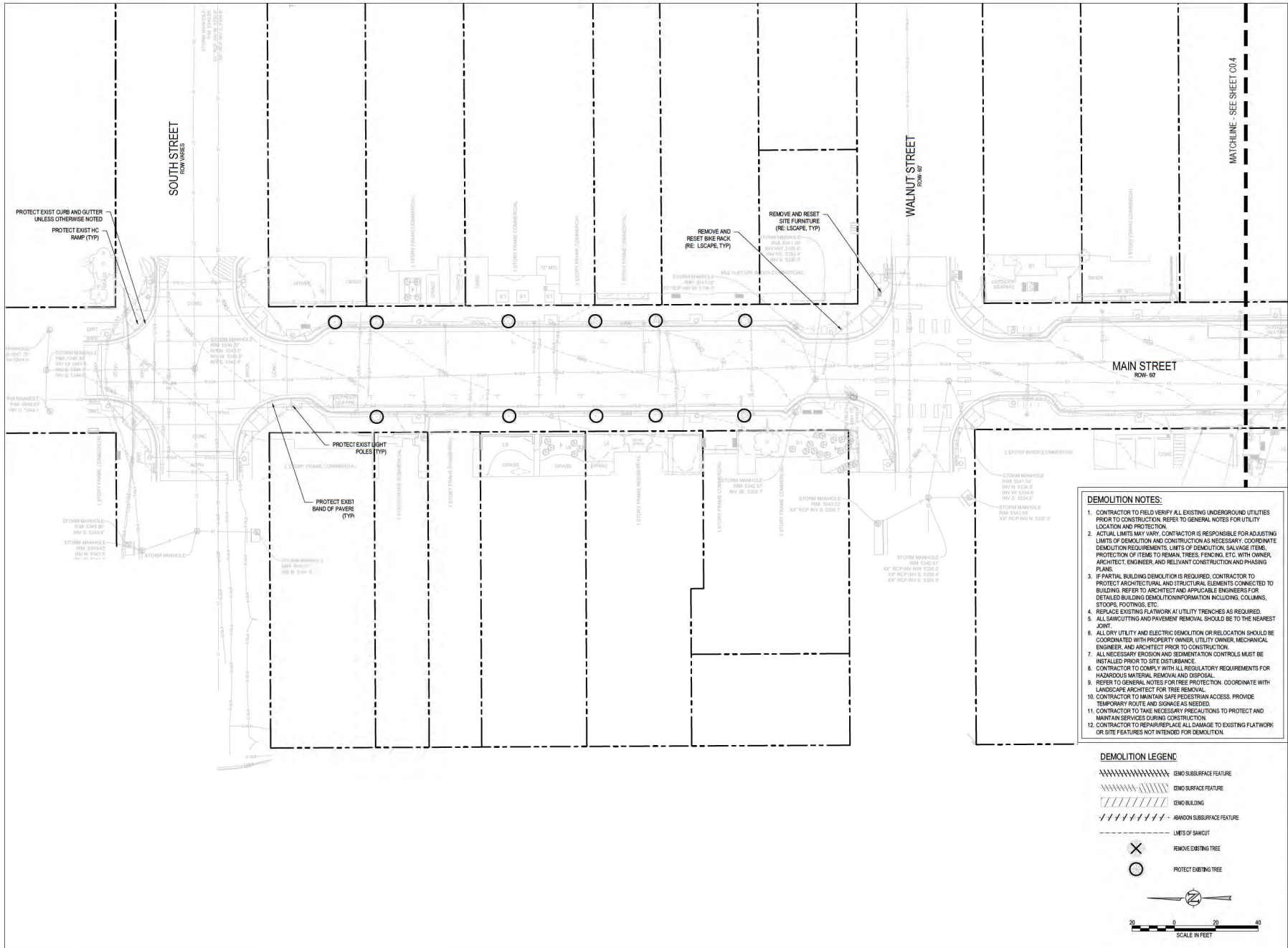
ASHTO	AMERICAN ASSOC. OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	INCL ID	INCLUDED INSIDE DIAMETER
ABAN	ABANDON	IN	INLET
AC	ASPHALTIC CONCRETE PAVING	INS	INSULATION
ADOL	ADDITIONAL	INV	INVERT
ADOM	ADJUSTABLE	IRR	IRRIGATION
ALU	ALUMINUM	JTS	JOINTS
ALT	ALTERNATE	NO	KNOCKOUT
AMT	AMOUNT	K/C	KICK PLATE
APPROX	APPROXIMATE	K/R	KEYWAY
ARCH	ARCHITECTURAL	KEY	KEY
ARV	AIR RELIEF VALVE	L	LEFT OR LITER
ASB	AMERICAN SOCIETY FOR TESTING AND MATERIALS	LSCAPE	LANDSCAPE (END)
ASPH	ASPHALT	LF	LINEAR FOOT
ASBY	ASSEMBLY	LP	LOW POINT OR LIGHT POLE
AUTO	AUTOMATIC	L	LIGHT
AWD	AVERAGE	LWL	LOW WATER LEVEL
AWWA	AMERICAN WATER WORKS ASSOC.	MAINT	MAINTENANCE
BC	BACK OF CURB	MAN	MANHOLE
BFV	BUTTERFLY VALVE	MATL	MATERIAL
BLD	BUILDING	MAX	MAXIMUM
BLK	BLACK	ME	MATCH EXISTING
BM	BENCH MARK	MECH	MECHANICAL ELECTRICAL PLUMBING (ARCH)
BMS	BEST MANAGEMENT PRACTICE	MFR	MANUFACTURER
BOS	BOTTOM OF STEP	MH	MANHOLE
BTM	BOTTOM	MNM	MINIMUM
BSM	BASEMENT	MISC	MISCELLANEOUS
BVC	BEGIN VERTICAL CURVE ELEVATION	MJ	MECHANICAL JOINT
BVS	BEGIN VERTICAL CURVE STATION	N	NORTH
BTM	BOTTOM OF WALL	NA	NOT APPLICABLE
CB	CATCH BASIN	NC	NOT IN CONTRACT
CD	CASTERED CLOSURE	NPT	NATIONAL PIPE THREAD
CDOT	COLORADO DEPARTMENT OF TRANSPORTATION	NOT TO SCALE	NOT TO SCALE
CF	CAST IRON PIPE	OS	OFFSET
CJ	CONSTRUCTION JOINT	OC	ON CENTER
CL	CENTER LINE OR CHAIN LINK	OD	OUTSIDE DIAMETER
CLR	CLEARANCE	OD	IRRIGATION - 12" AND SMALLER
CMU	CORRUGATED METAL PIPE	OD	IRRIGATION - LARGER THAN 12"
CMP	CONCRETE MASONRY UNIT	OPT	OPTIONAL
CLEANIT	CLEANOUT	PC	POINT OF CURVATURE
CONC	CONCRETE	PCD	PRESSURE CLEAN OUT
CONC	CONSTRUCTION	PCRT	POINT OF CURVE RETURN
CONC	CONSTRUCTION (CONTINUOUS)	PI	POINT OF INTERSECTION
COR	CORNER	PI	POINT OF VERTICAL INTERSECTION
CR	CENTRIC REDUCER	PL	PROPERTY LINE
CTR	CENTER	PL	POLYETHYLENE
CY	CUBIC YARDS	PREAB	PREASSEMBLED
		PRELIM	PRELIMINARY
DEMO	DEMOLITION	PREP	PREPARATION
DET	DETAIL	PROF	PROPOSED
DIAM	DIAMETER	PRV	PRESSURE REDUCING VALVE OR PRESSURE RELIEF VALVE
DIA	DIAAGONAL	PSF	POUNDS PER SQUARE FOOT
DISP	DUCTILE IRON PIPE	PSI	POUNDS PER SQUARE INCH
DOM	DOMESTIC	PT	POINT OF TANGENCY
DWG	DRAWING	PV	POLYVINYL CHLORIDE OR POINT OF VERTICAL CURVATURE
DWL	DOWEL	PVT	POLYVINYL CHLORIDE OR POINT OF VERTICAL CURVATURE
		QTY	QUANTITY
E	EAST	QTY	QUANTITY
EA	EACH	R	RADIUS
EC	ECCENTRIC	RAD	RADIUS
EXP	EXPANSION JT	RCP	REINFORCED CONCRETE PIPE
EL	ELEVATION	RFD	ROOF DRAIN
ELB	ELBOW	RE	REFERENCE
ELEC	ELECTRICAL	RECT	RECTANGULAR
ENGR	ENGINEER	REQ	REQUIRED
EQP	EDGE OF PAVEMENT	REQD	REQUIRED
EQUAL	EQUAL	RI	RIGHT OF WAY
EQUIP	EQUIPMENT	RSN	SANITARY
EQV	EQUIVALENT	SC	SMOOTH
ESMT	EASEMENT	SD	STORM DRAIN
EST	ESTIMATE	SECT	SECTION
EVC	END VERTICAL CURVE ELEVATION	SPD	STANDARD PROCTOR DENSITY
EV	EACH WAY	SPEC	SPECIFICATION
EXP	EXPANSION JOINT	SQ	SQUARE
EXIST	EXISTING	SQ IN	SQUARE INCH
		SQ FT	SQUARE FOOT
		SQ YD	SQUARE YARD
FND	FOUNDATION	SS	SANITARY SEWER
FES	FLARED END SECTION	SS	STAINLESS STEEL
FF	FINISH FLOOR	STA	STATION
FG	FINISH GRADE	STD	STANDARD
FI	FIRE HYDRANT	STL	STEEL
FL	FLOW LINE	STRUCT	STRUCTURAL
FM	FENCE	SVG	SERVICE
FN	FACE OF CONCRETE	SVM	STORMWATER MANAGEMENT PLAN
FPS	FEET PER MINUTE	SYMM	SYMMETRICAL
FPS	FEET PER SECOND		
FT	FEET	TB	THRUST BLOCK
FTG	FOOTING OR FITTING	TB	TOP BACK OF CURB
		TKM	TEMPORARY MARK
G	GAS	TEMP	TEMPORARY
GA	GAL	THK	THICKNESS GRADE ADJACENT TO TOP OF WALL
GAL	GALLON	TOB	TOP OF BANK
GALV	GALVANIZED	TOB	TOP OF BANK
GR	GRADE BREAK	TOP	TOP OF CONCRETE OR TOP OF CURB
GRD	GRADE CLEANOUT	TOT	TOP OF STEP
GPD	GALLONS PER DAY	TOT	TOTAL
GND	GROUND	TYP	TYPICAL
GPD	GALLONS PER MINUTE		
GR	GRATE	UBC	UNIFORM BUILDING CODE
GRG	GRATING	UD	UNDERGROUND UTILITY
GRV	GRAVEL	UTL	UTILITY
GVL	GALVANIZED STEEL PIPE	VAL	VALVE
GATE	GATE VALVE	VERT	VERTICAL
		VH	VERTICAL CURVATURE
H	HIGH	VCP	VITRIFIED CLAY PIPE
H	HOLE		
HE	HORIZONTAL	W	WIDE OR WIDTH
HW	HEADWALL	W	WITH
HNDR	HAND RAIL	W/O	WITHOUT
HORZ	HORIZONTAL	WOV	WATER QUALITY CONTROL VOLUME
HORZ	HORIZONTAL	WSE	WATER SURFACE ELEVATION
HR	HOUR	WSTW	WASTEWATER
HVC	HEATING, VENTILATION, AIR CONDITIONING	X	SECT CROSS SECTION
HWY	HIGHWAY	XFRM	ELECTRICAL TRANSFORMER
HWS	HEAT WATER LINE		
HYD	HYDRANT	YH	YARD HYDRANT

SURVEY LEGEND

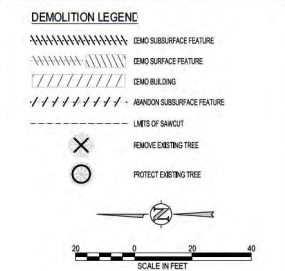


NOTE SHADED ITEMS REPRESENT EXIST FEATURES





- DEMOLITION NOTES:**
- CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
  - ACTUAL LIMITS MAY VARY. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING LIMITS OF DEMOLITION AND CONSTRUCTION AS NECESSARY. COORDINATE DEMOLITION REQUIREMENTS, LIMITS OF DEMOLITION, SALVAGE ITEMS, PROTECTION OF TREES TO REMAIN, TREES, FENCING, ETC. WITH OWNER, ARCHITECT, ENGINEER, AND RELEVANT CONSTRUCTION AND PHASING PLANS.
  - IF PARTIAL BUILDING DEMOLITION IS REQUIRED, CONTRACTOR TO PROTECT ARCHITECTURAL AND STRUCTURAL ELEMENTS CONNECTED TO BUILDING. REFER TO ARCHITECT AND APPLICABLE ENGINEERS FOR DETAILED BUILDING DEMOLITION INFORMATION INCLUDING COLUMNS, STAIRS, FOOTINGS, ETC.
  - REPLACE EXISTING PLATWORK AT UTILITY TRENCHES AS REQUIRED.
  - ALL SAWCUTTING AND PAVEMENT REMOVAL SHOULD BE TO THE NEAREST JOINT.
  - ALL DRY UTILITY AND ELECTRIC DEMOLITION OR RELOCATION SHOULD BE COORDINATED WITH PROPERTY OWNER, UTILITY OWNER, MECHANICAL ENGINEER, AND ARCHITECT PRIOR TO CONSTRUCTION.
  - ALL NECESSARY EROSION AND SEDIMENTATION CONTROLS MUST BE INSTALLED PRIOR TO SITE DISTURBANCE.
  - CONTRACTOR TO COMPLY WITH ALL REGULATORY REQUIREMENTS FOR HAZARDOUS MATERIAL REMOVAL AND DISPOSAL.
  - REFER TO GENERAL NOTES FOR TREE PROTECTION. COORDINATE WITH LANDSCAPE ARCHITECT FOR TREE REMOVAL.
  - CONTRACTOR TO MAINTAIN SAFE PEDESTRIAN ACCESS. PROVIDE TEMPORARY ROUTE AND SIGNAGE AS NEEDED.
  - CONTRACTOR TO TAKE NECESSARY PRECAUTIONS TO PROTECT AND MAINTAIN SERVICES DURING CONSTRUCTION.
  - CONTRACTOR TO REPAIR/REPLACE ALL DAMAGE TO EXISTING PLATWORK OR SITE FEATURES NOT INTENDED FOR DEMOLITION.



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REV	COMMENT	DATE

30% CONSTRUCTION DOCUMENTS

Date: 12/01/2025  
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 MAIN STREET DEMOLITION PLAN

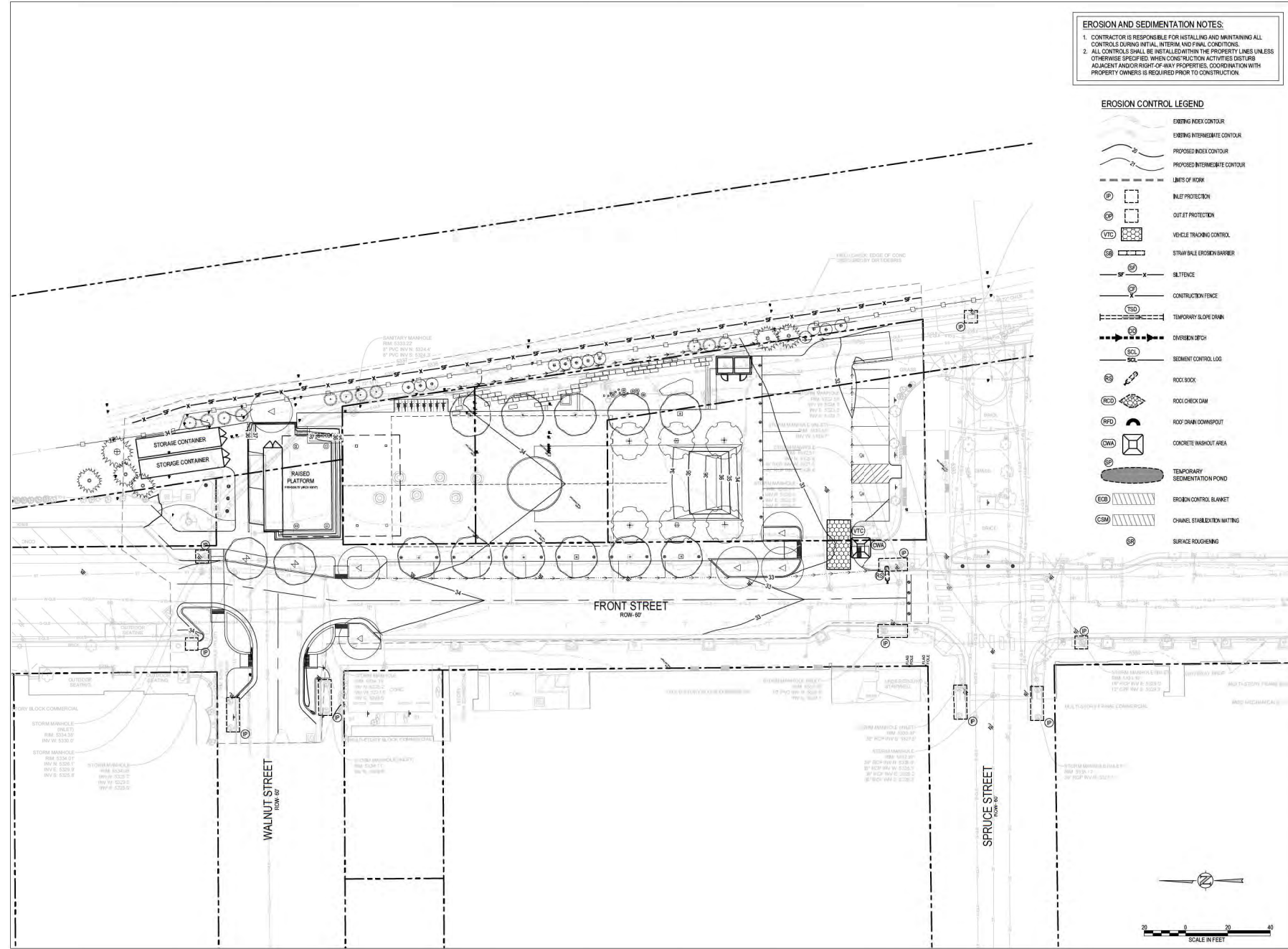
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**EROSION AND SEDIMENTATION NOTES:**  
 1. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL CONTROLS DURING INITIAL, INTERIM AND FINAL CONDITIONS.  
 2. ALL CONTROLS SHALL BE INSTALLED WITHIN THE PROPERTY LINES UNLESS OTHERWISE SPECIFIED. WHEN CONSTRUCTION ACTIVITIES DISTURB ADJACENT AND/OR RIGHT-OF-WAY PROPERTIES, COORDINATION WITH PROPERTY OWNERS IS REQUIRED PRIOR TO CONSTRUCTION.

**EROSION CONTROL LEGEND**

- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- UNITS OF WORK
- INLET PROTECTION
- OUTLET PROTECTION
- VEHICLE TRACKING CONTROL
- STRAW BALE EROSION BARRIER
- SILT FENCE
- CONSTRUCTION FENCE
- TEMPORARY SLOPE DRAIN
- DIVERSION DITCH
- SEGMENT CONTROL LOG
- ROCK BOOK
- ROCK CHECK DAM
- ROOF DRAIN DOWNSPOUT
- CONCRETE WASHOUT AREA
- TEMPORARY SEDIMENTATION POND
- EROSION CONTROL BLANKET
- CHANNEL STABILIZATION MATTING
- SURFACE ROUGHENING



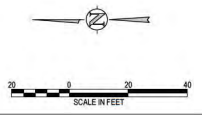
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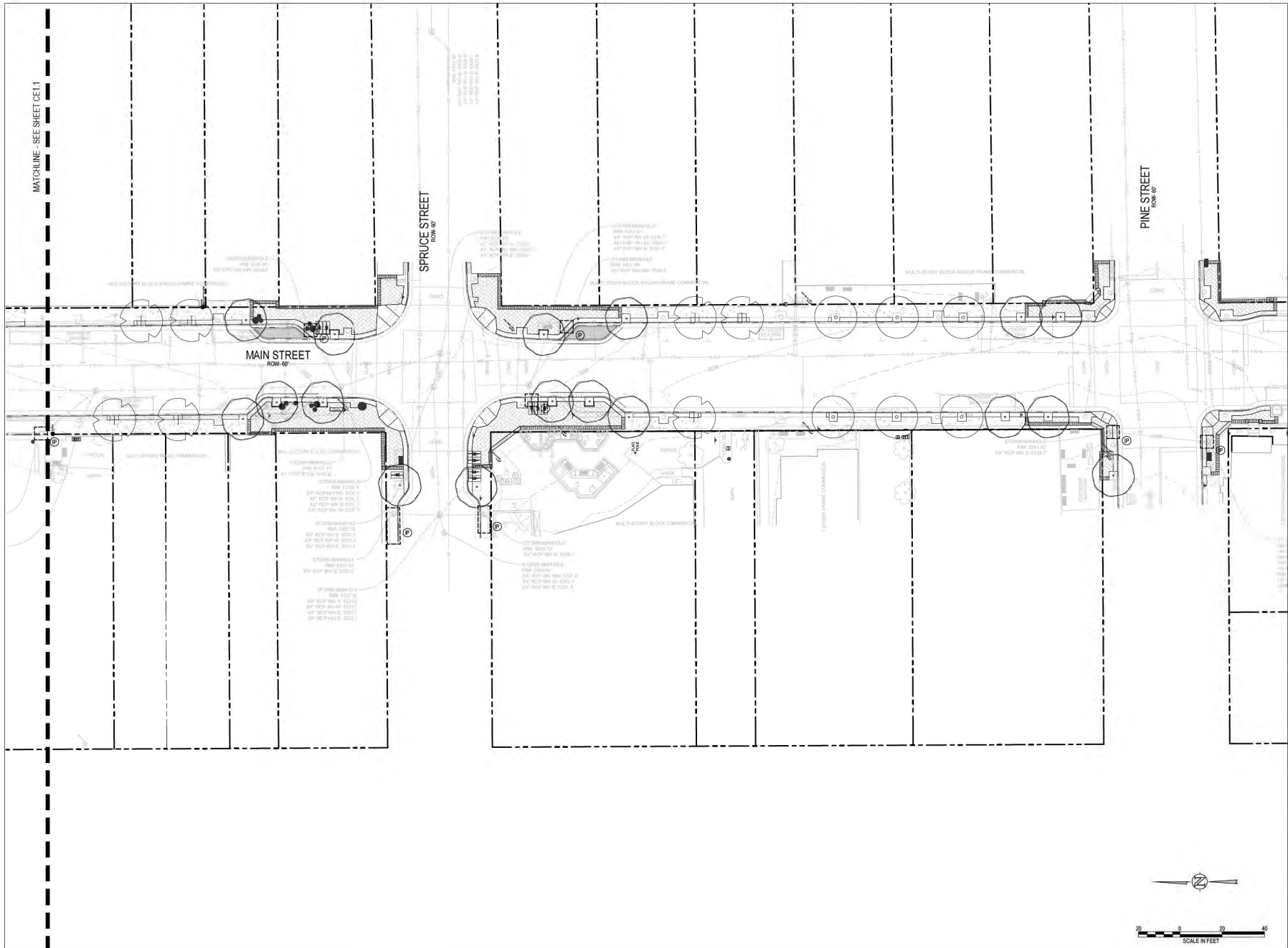
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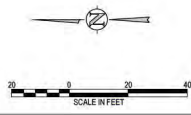
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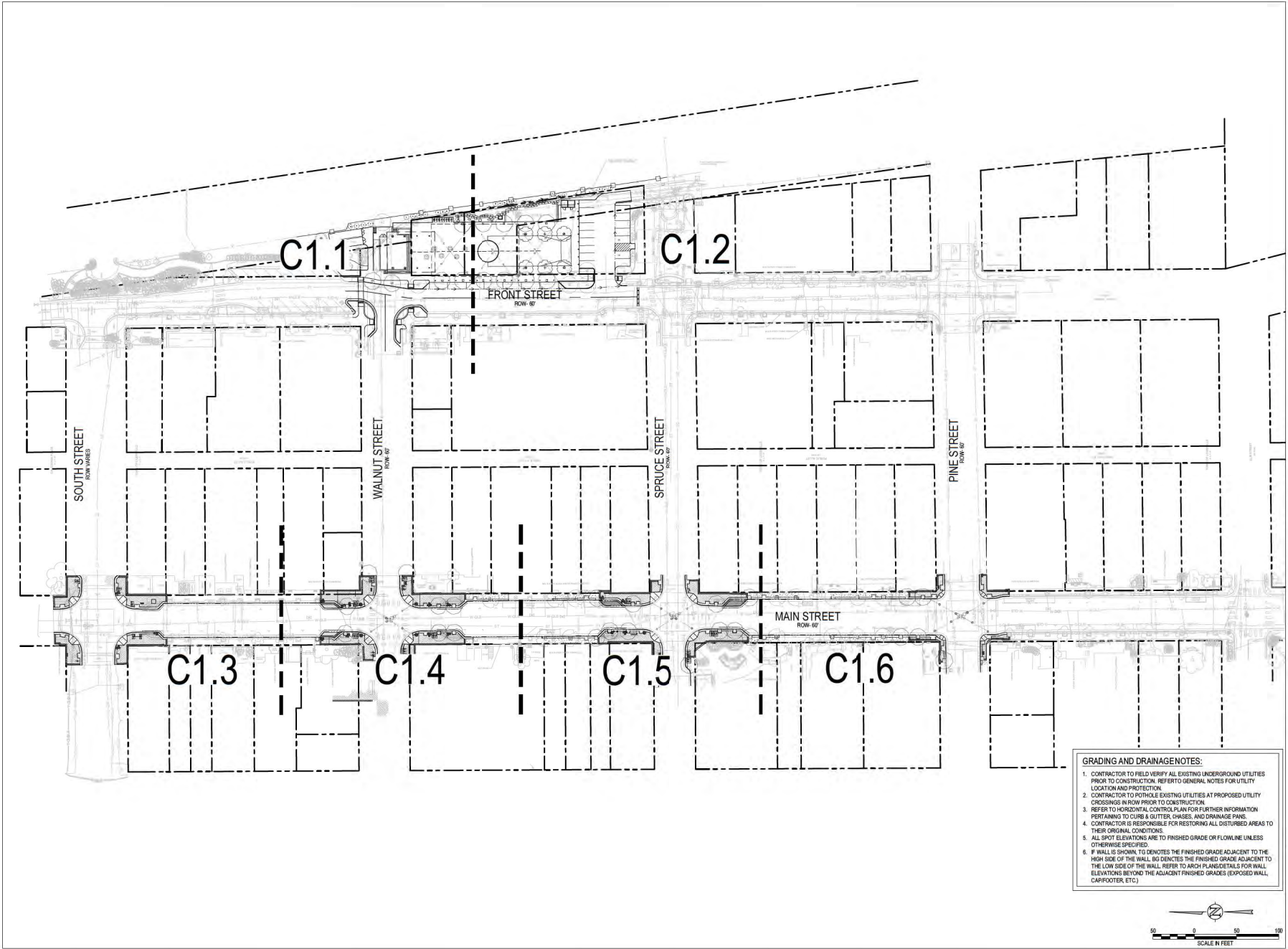
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Sheet Name  
 OVERALL CIVIL SITE PLAN

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 C1.0



**GRADING AND DRAINAGENOTES:**

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
2. CONTRACTOR TO POT-HOLE EXISTING UTILITIES AT PROPOSED UTILITY CROSSINGS IN ROW PRIOR TO CONSTRUCTION.
3. REFER TO HORIZONTAL CONTROL PLAN FOR FURTHER INFORMATION PERTAINING TO CURBS & GUTTERS, CHASES, AND DRAINAGE PANS.
4. CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL DISTURBED AREAS TO THEIR ORIGINAL CONDITIONS.
5. ALL SPOT ELEVATIONS ARE TO FINISHED GRADE OR FLOWLINE UNLESS OTHERWISE SPECIFIED.
6. IF WALL IS SHOWN TO DENOTES THE FINISHED GRADE ADJACENT TO THE HIGH SIDE OF THE WALL, BQ DENOTES THE FINISHED GRADE ADJACENT TO THE LOW SIDE OF THE WALL. REFER TO ARCH PLUMBING DETAILS FOR WALL ELEVATIONS BEYOND THE ADJACENT FINISHED GRADES (EXPOSED WALL, CAP/ROOFER, ETC.)



REV.	COMMENT	DATE

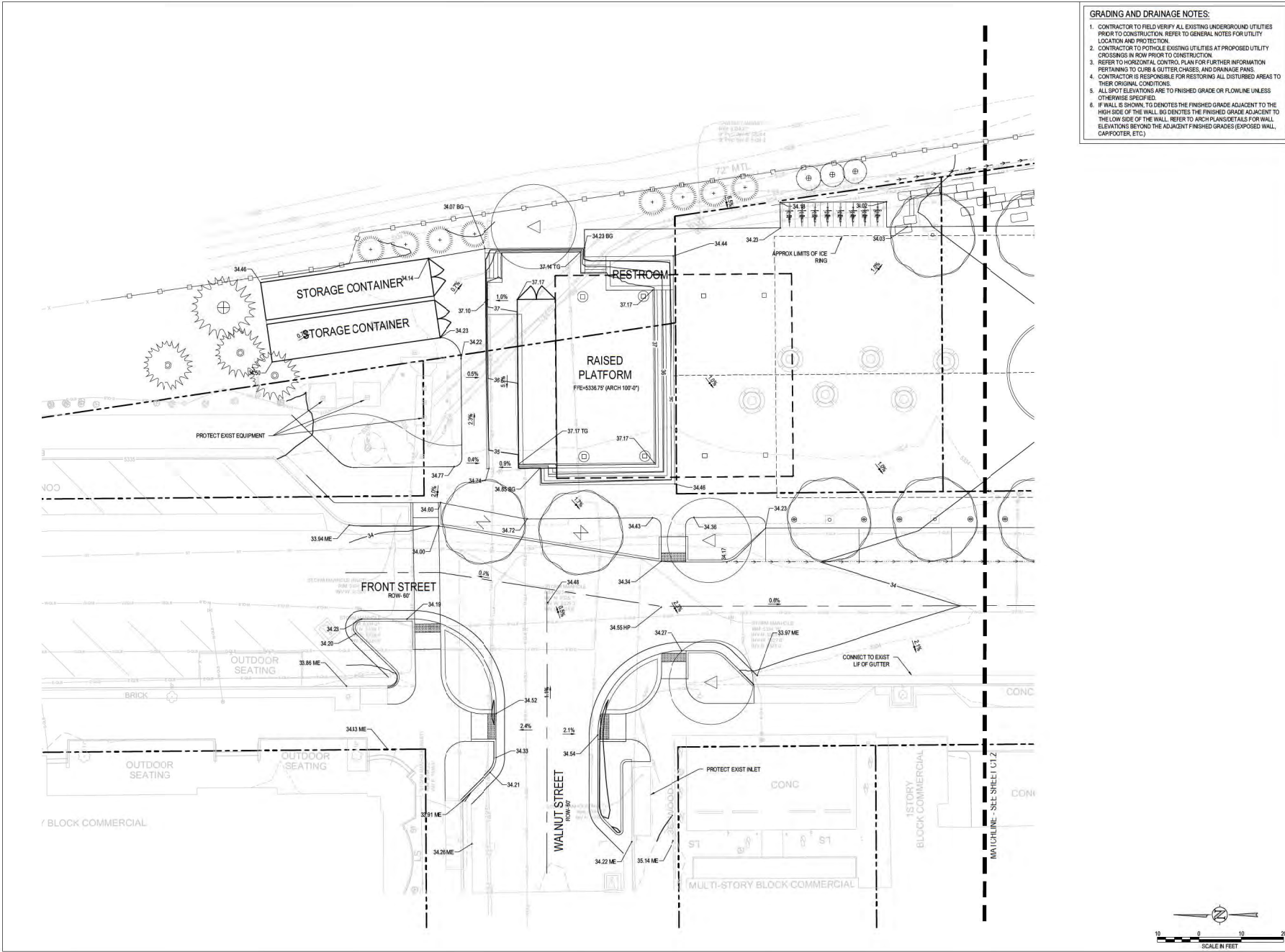
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Date: 12/01/2025  
 Drawn By: NSB  
 Checked By: XT, CFG

Sheet Name  
 CIVIL SITE PLAN - PLAZA A

Sheet  
 C1.1

- GRADING AND DRAINAGE NOTES:**
1. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
  2. CONTRACTOR TO POT-HOLE EXISTING UTILITIES AT PROPOSED UTILITY CROSSINGS IN ROW PRIOR TO CONSTRUCTION.
  3. REFER TO HORIZONTAL CONTROL PLAN FOR FURTHER INFORMATION PERTAINING TO CURBS & GUTTER CHASES, AND DRAINAGE PANS.
  4. CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL DISTURBED AREAS TO THEIR ORIGINAL CONDITIONS.
  5. ALL SPOT ELEVATIONS ARE TO FINISHED GRADE OR FLOWLINE UNLESS OTHERWISE SPECIFIED.
  6. IF WALL IS SHOWN, TO DENOTES THE FINISHED GRADE ADJACENT TO THE HIGH SIDE OF THE WALL. RG DENOTES THE FINISHED GRADE ADJACENT TO THE LOW SIDE OF THE WALL. REFER TO ARCH PLANS/DETAILS FOR WALL ELEVATIONS BEYOND THE ADJACENT FINISHED GRADES (EXPOSED WALL, CARPENTER, ETC.)



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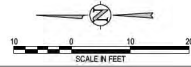
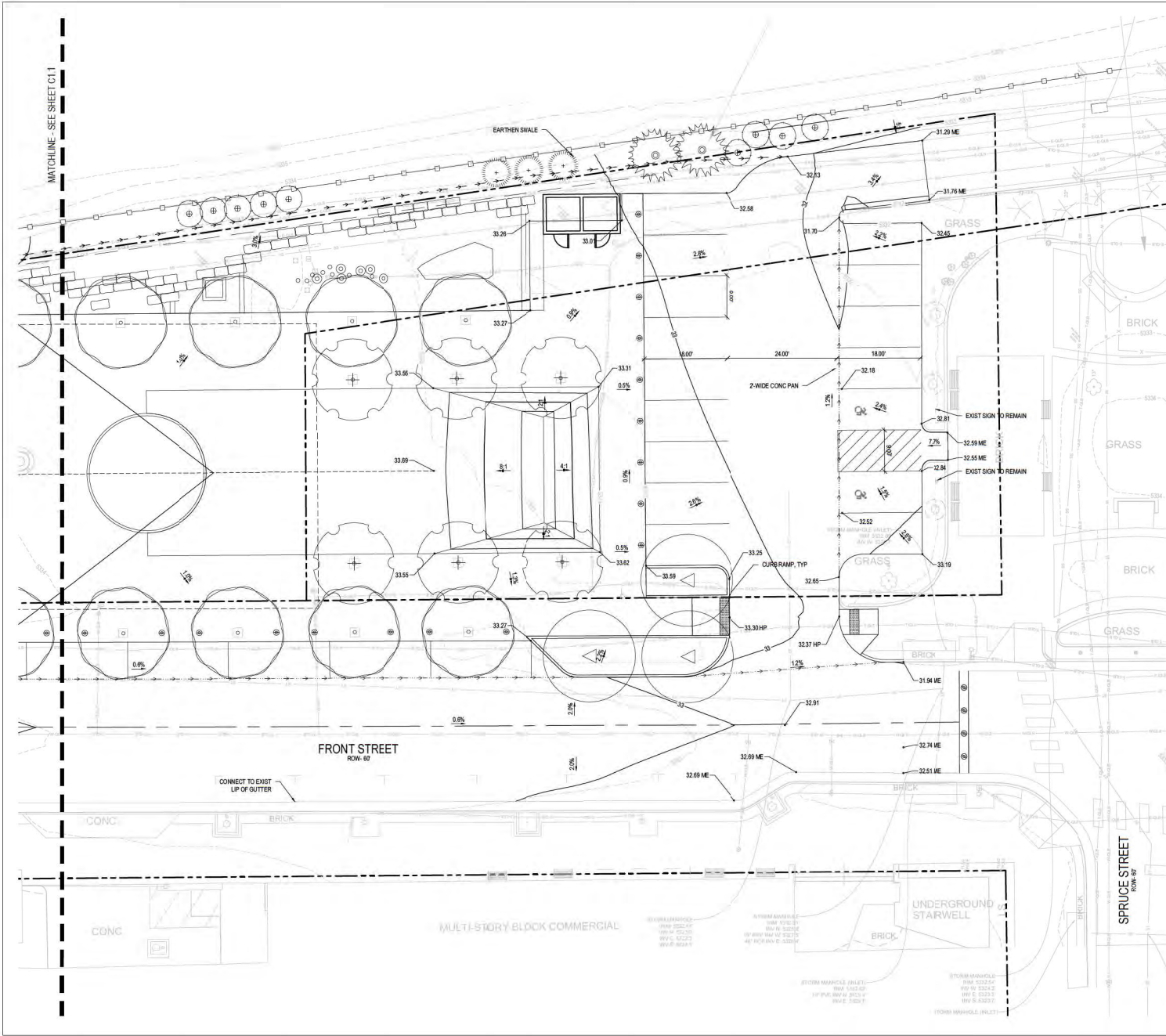
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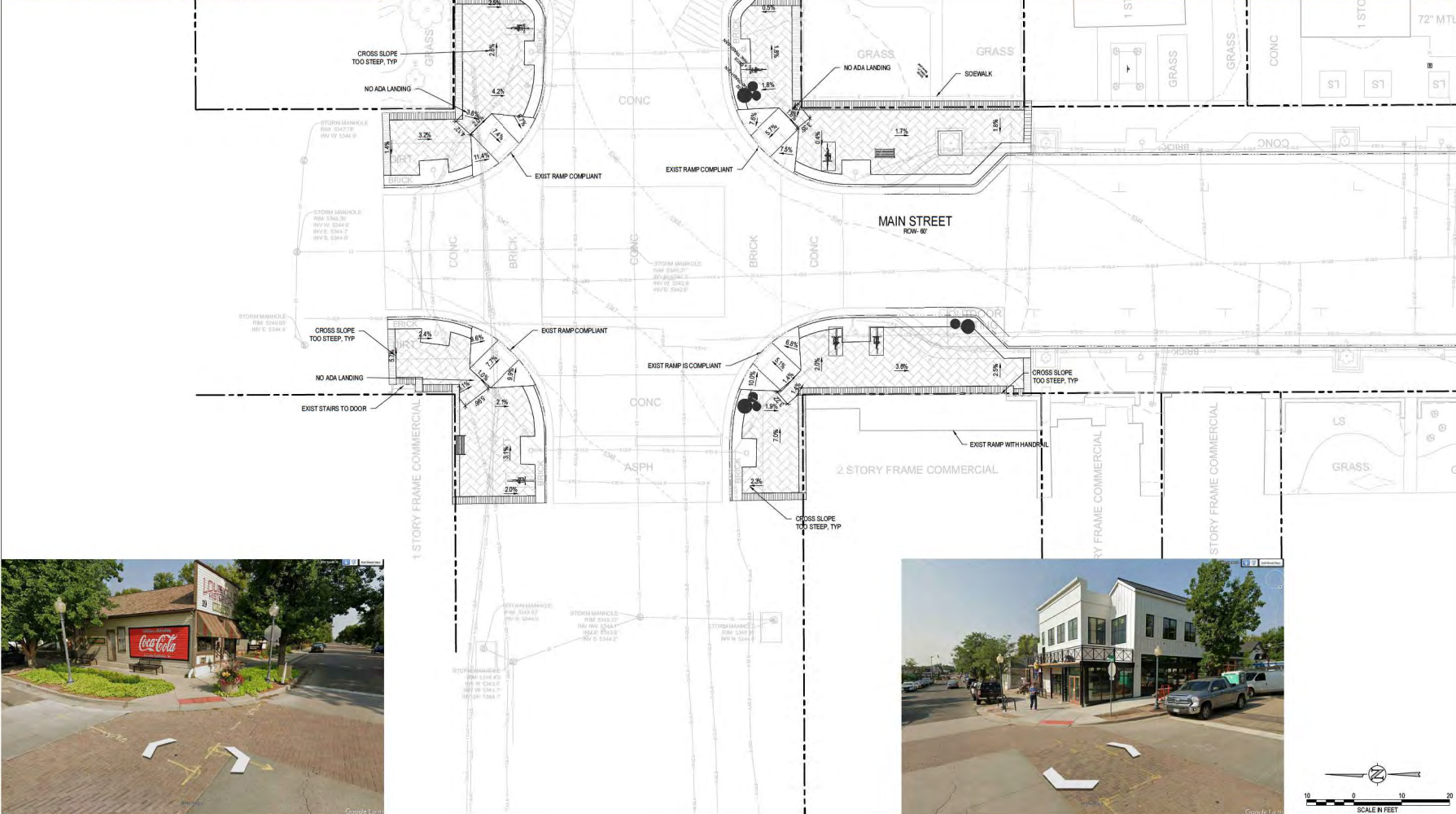
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Sheet Name  
 CIVIL SITE PLAN - PLAZA B

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- GRADING AND DRAINAGE NOTES:**
- CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
  - CONTRACTOR TO POT-HOLE EXISTING UTILITIES AT PROPOSED UTILITY CROSSINGS IN ROW PRIOR TO CONSTRUCTION.
  - REFER TO HORIZONTAL CONTROL PLAN FOR FURTHER INFORMATION PERTAINING TO CURBS & GUTTER CHASES, AND DRAINAGE PANS.
  - CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL DISTURBED AREAS TO THEIR ORIGINAL CONDITIONS.
  - ALL SPOT ELEVATIONS ARE TO FINISHED GRADE OR FLOWLINE UNLESS OTHERWISE SPECIFIED.
  - IF WALL IS SHOWN, TO DENOTES THE FINISHED GRADE ADJACENT TO THE HIGH SIDE OF THE WALL. TO DENOTES THE FINISHED GRADE ADJACENT TO THE LOW SIDE OF THE WALL. REFER TO ARCH PLANS/DETAILS FOR WALL ELEVATIONS BEYOND THE ADJACENT FINISHED GRADES (EXPOSED WALL, CAP/FOOTER, ETC.)





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REV.	COMMENT	DATE

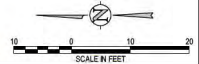
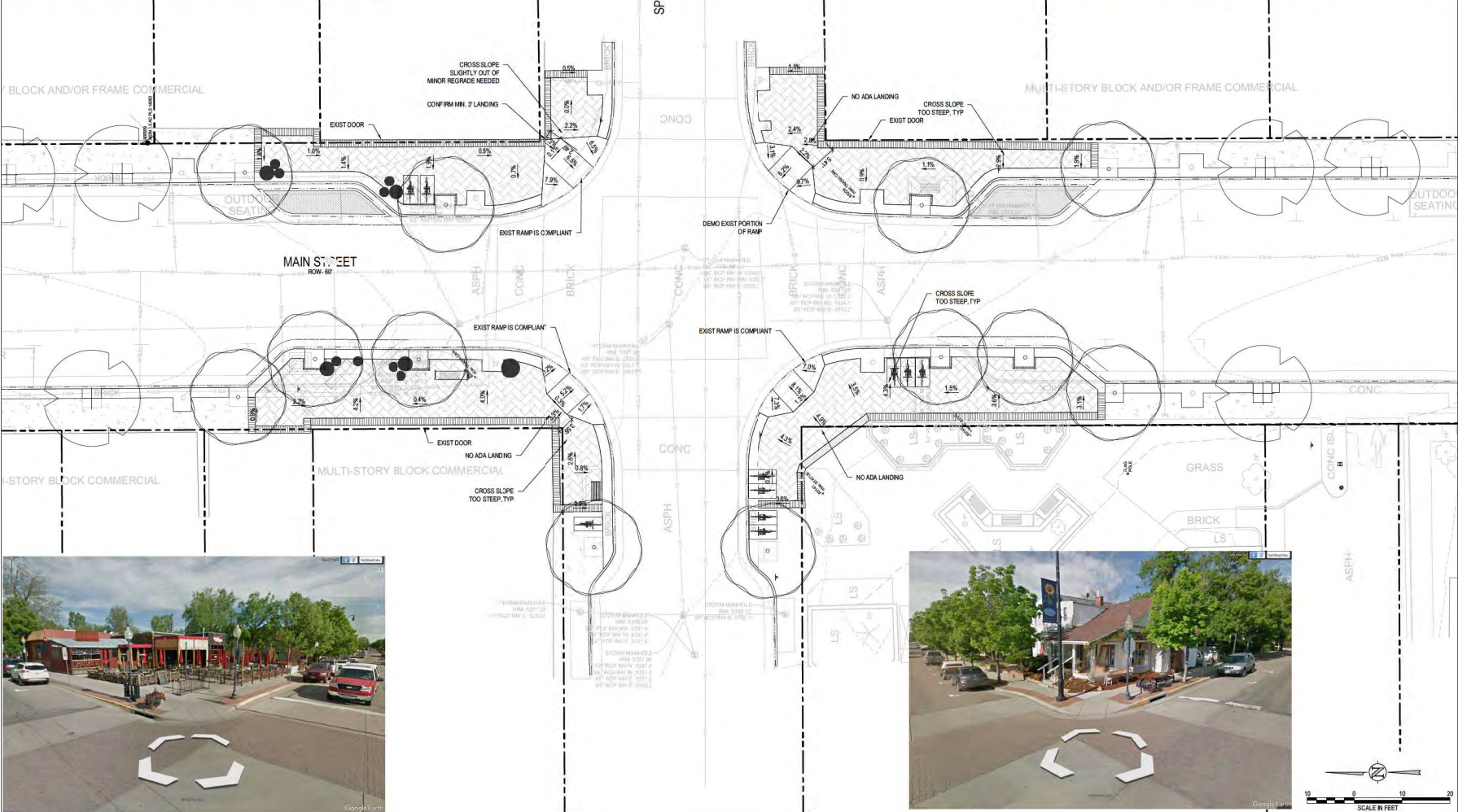
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Date: 12/01/2025  
 Drawn By: NSB  
 Checked By: XT, CFG

Sheet Name  
 SOUTH AND MAIN

Sheet  
 C1.3





LOUISVILLE  
FRONT & CENTER



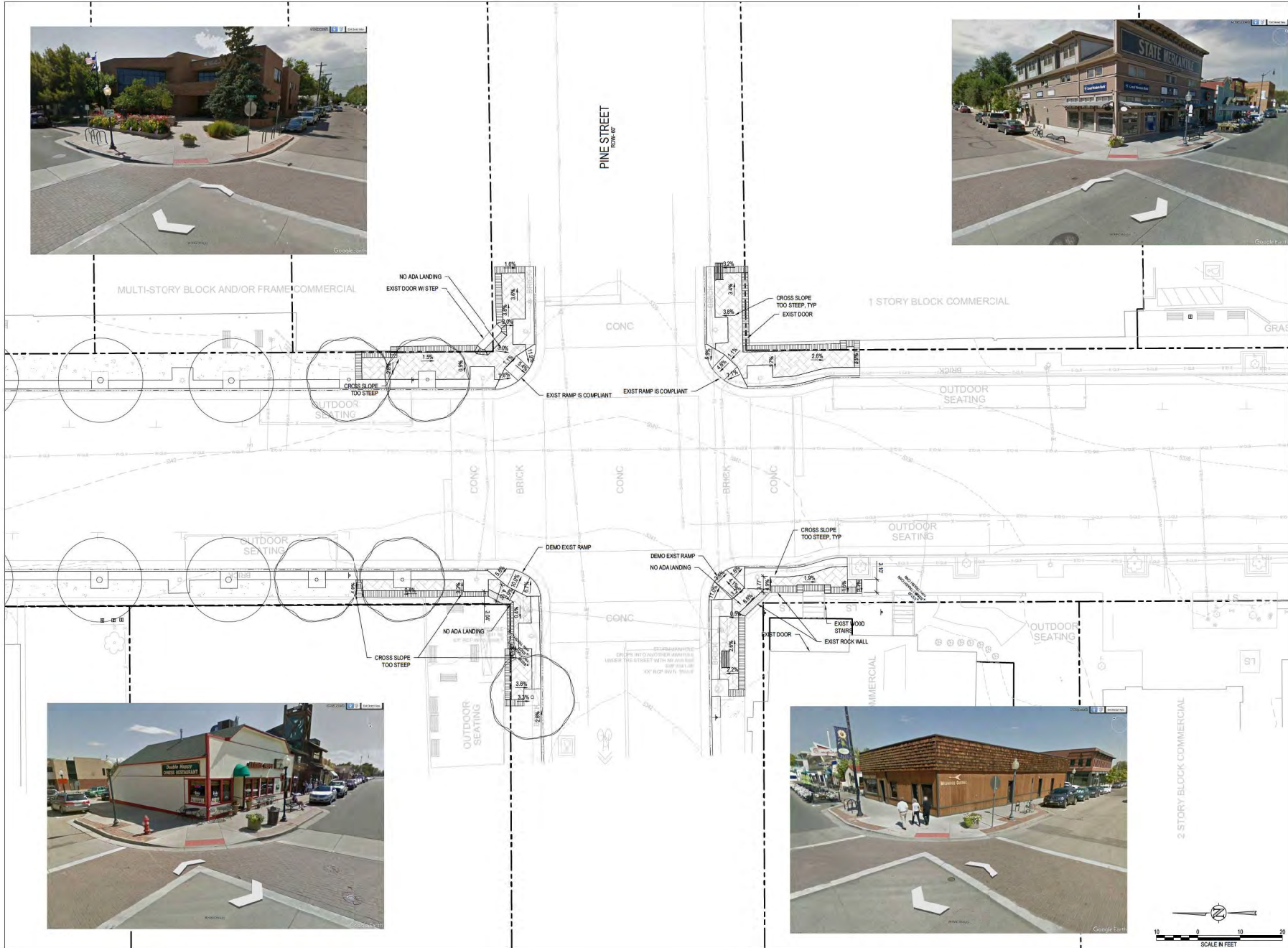
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REV.	COMMENT	DATE

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Date: 12/01/2025  
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 Sheet Name  
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 C1.6



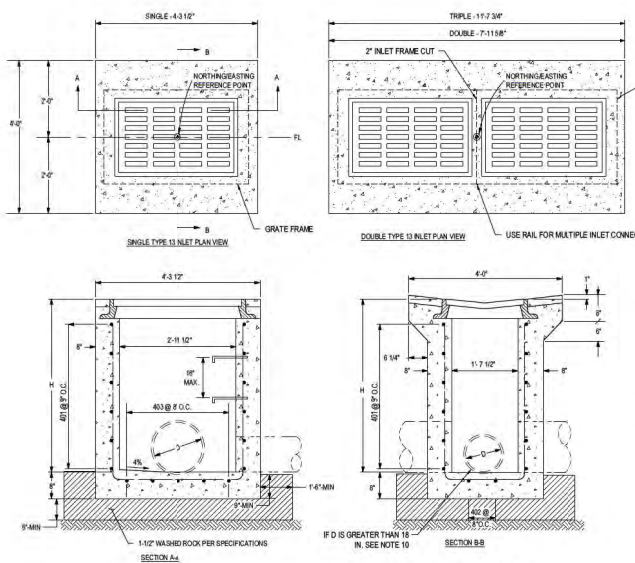
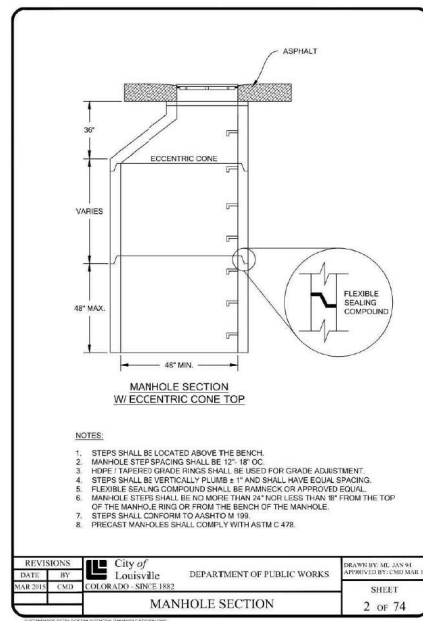
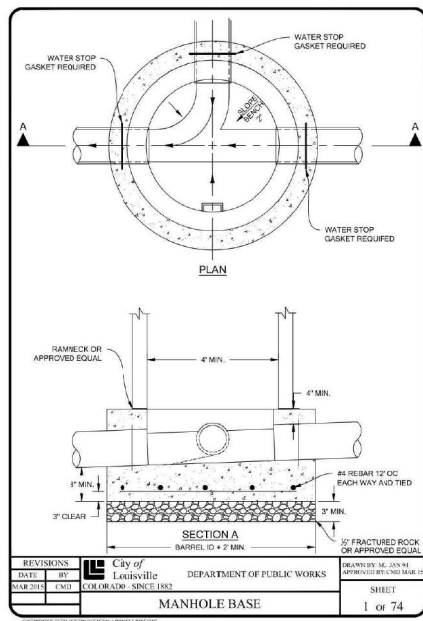
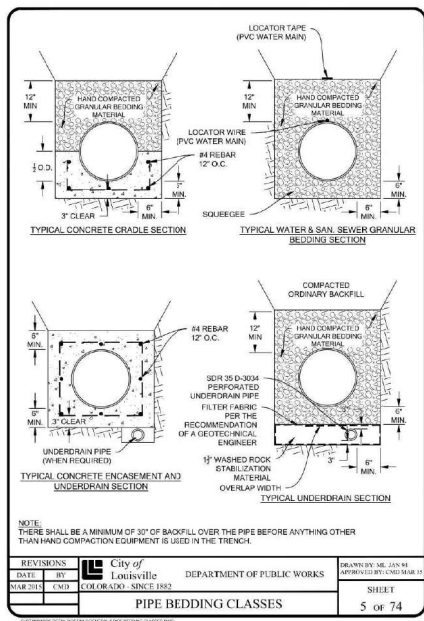
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30% CONSTRUCTION DOCUMENTS

Date: 12/01/2025  
 Drawn By: NSB  
 Checked By: XT, CFG

Sheet Name  
 CIVIL SITE DETAILS

Sheet  
 C1.7



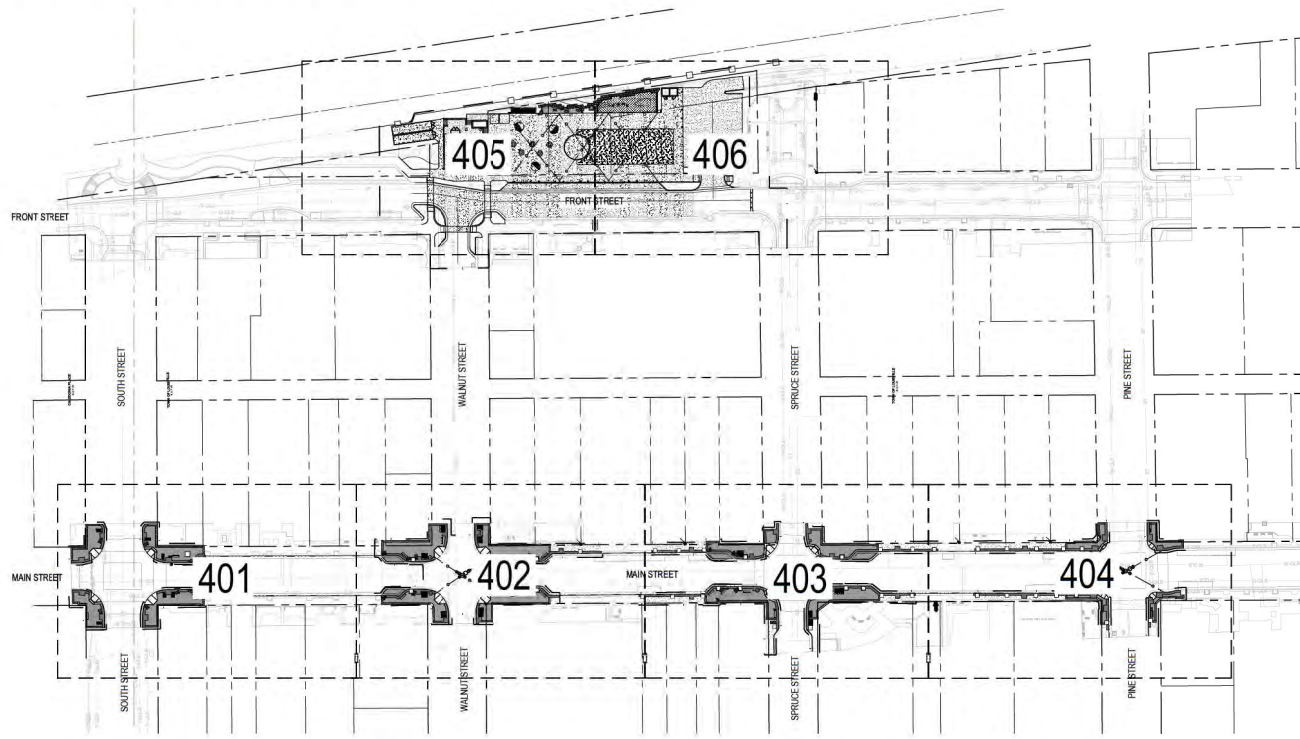
- NOTES:**
- CONCRETE SHALL BE CLASS B. INLET MAY BE CAST-IN-PLACE OR PRECAST.
  - CAST-IN-PLACE CONCRETE WALLS SHALL BE FORMED ON BOTH SIDES.
  - EXPOSED CONCRETE CORNERS SHALL BE CHAMFERED 3/4 IN.
  - REINFORCING BARS SHALL BE DEFORMED #4 AND SHALL HAVE A 2 IN. MINIMUM CLEARANCE. ALL REINFORCING BARS SHALL BE EPOXY COATED.
  - STEPS SHALL BE PROVIDED WHEN INLET DIMENSION "W" IS EQUAL TO OR GREATER THAN 3 FT.-6 IN. AND SHALL CONFORM TO AASHTO M 191.
  - ALL GRATES AND FRAMES SHALL BE GRAY OR DUCTILE CAST IRON IN ACCORDANCE WITH SUBSECTION 712.09. GRATES AND FRAMES SHALL BE DESIGNED TO WITHSTAND HS 20 LOADING.
  - STATION POINT IS AT THE CENTER OF THE INLET.
  - GRATE SHALL HAVE "NO WASTE GRABS TO STREAM" MESSAGE CAST ON SURFACE.
  - FOR FULL DETAIL INCLUDING BAR LIST, DIMENSIONS AND QTY. TABLE. SEE C001 DETAIL MAN-13.
  - ALL CONNECTED PIPES WITH A DIAMETER (Ø) GREATER THAN 18" FRONT AND 18" SIDE AND/OR ENTERING AT AN ANGLE GREATER THAN 80° A CUSTOM CONC. BOX MUST BE CONSTRUCTED. CONTRACTOR TO COORDINATE BOX DIMENSIONS AND SPECS WITH MANUFACTURER.





**SITE PLAN NOTES:**

1. THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FINAL PLANS. AMENDMENTS TO THE PLANS MUST BE REVIEWED AND APPROVED BY THE CITY PRIOR TO THE IMPLEMENTATION OF ANY CHANGES TO THE PLANS.
2. REFER TO FINAL UTILITY PLANS FOR EXACT LOCATIONS AND CONSTRUCTION INFORMATION FOR STORM DRAINAGE STRUCTURES, UTILITY MAINS AND SERVICES, PROPOSED TOPOGRAPHY, STREET IMPROVEMENTS.
3. REFER TO THE TOPOGRAPHIC SURVEY AND UTILITY PLANS FOR EXACT LOCATIONS, AREAS AND DIMENSIONS OF ALL EASEMENTS, LOTS, TRACTS, STREETS, WALKS AND OTHER SURVEY INFORMATION.
4. ALL ROOFTOP AND GROUND MOUNTED MECHANICAL EQUIPMENT MUST BE SCREENED FROM VIEW FROM ADJACENT PROPERTY AND PUBLIC STREETS. IN CASES WHERE BUILDING PARAPETS DO NOT ACCOMPLISH SUFFICIENT SCREENING, THEN FREE-STANDING SCREEN WALLS MATCHING THE PREDOMINANT COLOR OF THE BUILDING SHALL BE CONSTRUCTED. OTHER MINOR EQUIPMENT SUCH AS CONDUNIT, METERS AND PLUMBING VENTS SHALL BE SCREENED OR PAINTED TO MATCH SURROUNDING BUILDING SURFACES.
5. ALL CONSTRUCTION WITH THIS DEVELOPMENT PLAN MUST BE COMPLETED IN ONE PHASE UNLESS A PHASING PLAN IS SHOWN WITH THESE PLANS.
6. ALL EXTERIOR LIGHTING PROVIDED SHALL COMPLY WITH THE FOOT-CANDLE REQUIREMENTS IN THE LAND USE CODE AND SHALL USE A CONCEALED, FULLY SHIELDED LIGHT SOURCE WITH SHARP CUT-OFF CAPABILITY SO AS TO MINIMIZE UP-LIGHT, SPILL LIGHT, GLARE AND UNNECESSARY DIFFUSION.
7. SIGNAGE AND ADDRESSING ARE NOT PERMITTED WITH THIS PLANNING DOCUMENT AND MUST BE APPROVED BY SEPARATE CITY PERMIT PRIOR TO CONSTRUCTION. SIGNS MUST COMPLY WITH CITY SIGN CODE UNLESS A SPECIFIC VARIANCE IS GRANTED BY THE CITY.
8. ALL BIKE RACKS PROVIDED MUST BE PERMANENTLY ANCHORED.
9. ALL SIDEWALKS AND RAMPS MUST CONFORM TO CITY STANDARDS. ACCESSIBLE RAMPS MUST BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT ALL DESIGNATED ACCESSIBLE PARKING SPACES. ACCESSIBLE PARKING SPACES MUST SLOPE NO MORE THAN 1:48 IN ANY DIRECTION. ALL ACCESSIBLE ROUTES MUST SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND WITH NO MORE THAN 1:48 CROSS SLOPE.
10. DESIGN AND INSTALLATION OF ALL PARKWAY/TREE LAWN AND MEDIAN AREAS IN THE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CITY STANDARDS. UNLESS OTHERWISE AGREED TO BY THE CITY WITH THE FINAL PLANS, ALL ONGOING MAINTENANCE OF SUCH AREAS IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER.
11. ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY OF LOUISVILLE STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.



**BOULDER SCHEDULE**

SYM	SIZE (LxWxH)	QTY
☐	3'x2'x2'	28
☐	4'x2'x2'	36
☐	6'x2'x2'	1

**BOULDER NOTES:**  
TYPE: QUARTZITIC SANDSTONE BLOCK  
COLOR: TAN / BUFF

**FURNISHING SCHEDULE**

SYM	TYPE	QTY
☐	TRASH AND RECYCLE	2
●	REMOVABLE BOLLARD	9
●	FIXED BOLLARD	12
☉	UMBRELLA PICNIC TABLE	6
☉	STREETLIFE PLANTER	3
☐	2'-0" TREE GRATE	17
☐	STREETLIFE BIKE RACK	8
☐	SPLASH PAD MECHANICAL VAULT	1
☐	RESTROOM	1

**SITE NOTES:**

1. CAD FILES AVAILABLE FROM LANDSCAPE ARCHITECT FOR CONSTRUCTION SURVEY PURPOSES.
2. NORTHING AND EASTING (NE) ON ALL RADII INDICATES CENTER POINT OF RADIUS.
3. ALL SHRUB BED EDGES TO BE LAID OUT WITH SMOOTH CURVES TANGENT TO EACH OTHER.
4. BOULDER SEATWALLS TO BE SET PRIOR TO POURING CONCRETE. SEATWALLS TO FUNCTION AS FORMS-REFER TO DETAILS.
5. ALL CONCRETE PAVEMENT JOINTS TO BE SAWCUT AS INDICATED ON PLANS.
6. ALL BOULDER SIZES ARE GENERAL, DUE TO NATURAL APPEARANCE.



REV.	COMMENT	DATE

30% CONSTRUCTION DOCUMENTS

Date: 12.01.2025  
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Sheet Name  
 OVERALL SITE PLAN

Sheet  
 LS100

LOUISVILLE  
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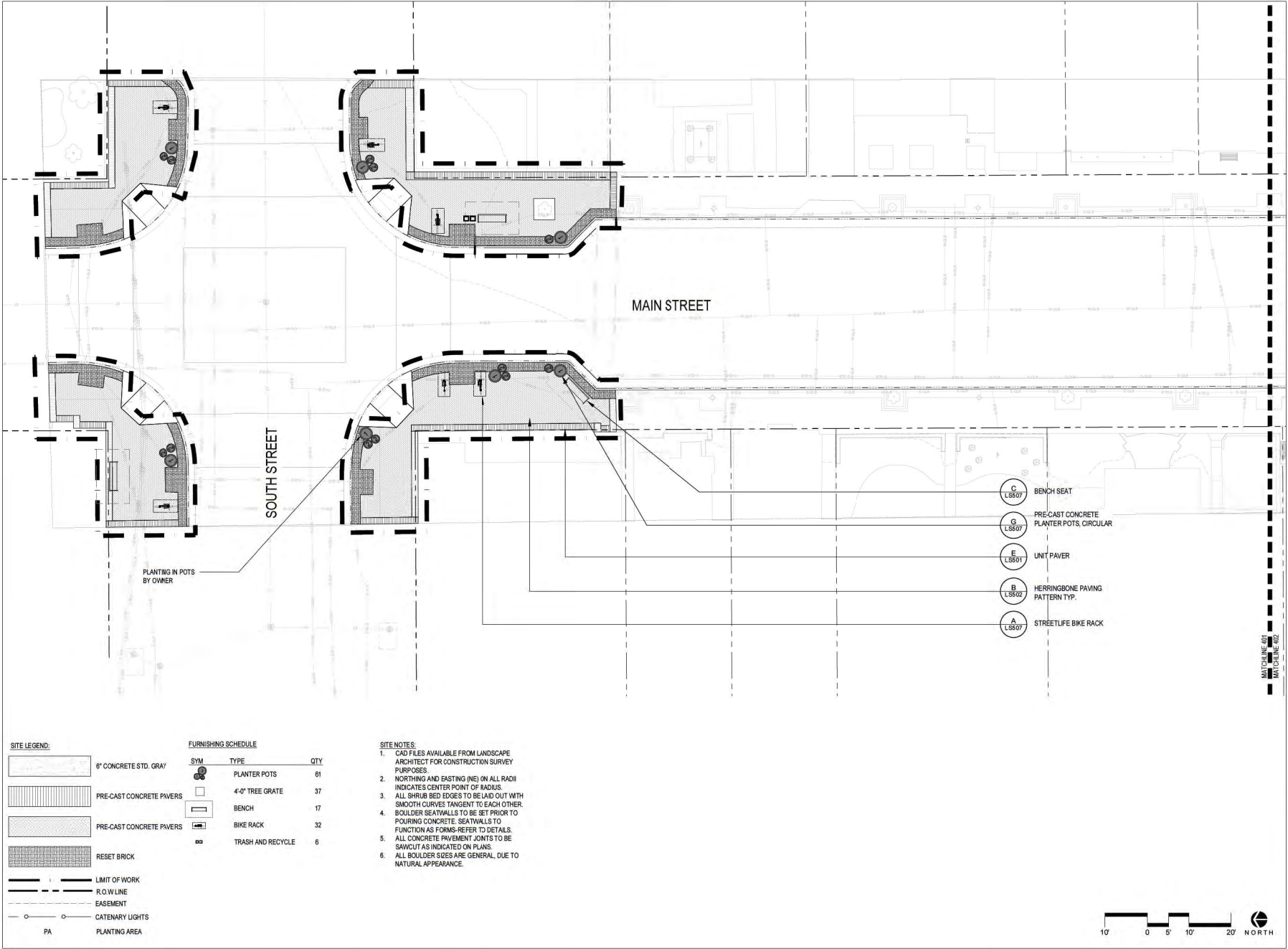
REV.	COMMENT	DATE

30% CONSTRUCTION DOCUMENTS

Date: 12.01.2025  
 Drawn By: PR  
 Checked By: JB

Sheet Name  
 SITE PLAN

Sheet  
 LS401



**SITE LEGEND:**

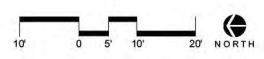
	6" CONCRETE STD. GRAY
	PRE-CAST CONCRETE PAVERS
	PRE-CAST CONCRETE PAVERS
	RESET BRICK
	LIMIT OF WORK
	R.O.W. LINE
	EASEMENT
	CATENARY LIGHTS
	PLANTING AREA

**FURNISHING SCHEDULE**

SYM	TYPE	QTY
	PLANTER POTS	61
	4'-0" TREE GRATE	37
	BENCH	17
	BIKE RACK	32
	TRASH AND RECYCLE	6

- SITE NOTES:**
- CAD FILES AVAILABLE FROM LANDSCAPE ARCHITECT FOR CONSTRUCTION SURVEY PURPOSES.
  - NORTHING AND EASTING (NE) ON ALL RADII INDICATES CENTER POINT OF RADIUS.
  - ALL SHRUB BED EDGES TO BE Laid OUT WITH SMOOTH CURVES TANGENT TO EACH OTHER.
  - BOULDER SEATWALLS TO BE SET PRIOR TO POURING CONCRETE. SEATWALLS TO FUNCTION AS FORMS-REFER TO DETAILS.
  - ALL CONCRETE PAVEMENT JOINTS TO BE SAWCUT AS INDICATED ON PLANS.
  - ALL BOULDER SIZES ARE GENERAL, DUE TO NATURAL APPEARANCE.

- C LSS67 BENCH SEAT
- G LSS67 PRE-CAST CONCRETE PLANTER POTS, CIRCULAR
- E LSS61 UNIT PAVER
- B LSS62 HERRINGBONE PAVING PATTERN TYP.
- A LSS67 STREETLIFE BIKE RACK



MAY 2015 - 401  
 MAY 2015 - 401

LOUISVILLE  
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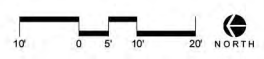
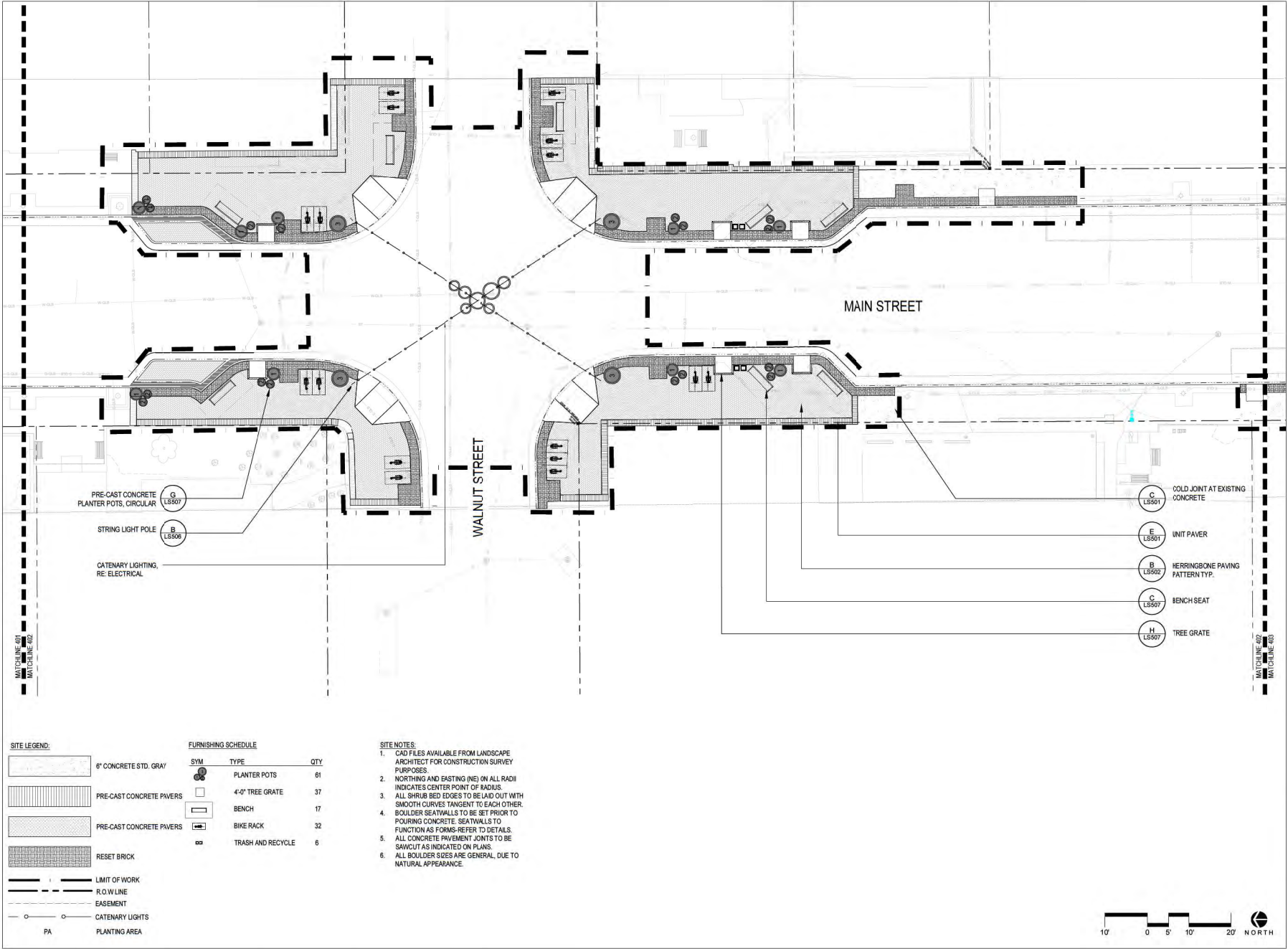
REV.	COMMENT	DATE

30% CONSTRUCTION DOCUMENTS

Date: 12.01.2025  
 Drawn By: PR  
 Checked By: JB

Sheet Name  
 SITE PLAN

Sheet  
 LS402



LOUISVILLE  
FRONT & CENTER



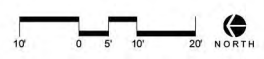
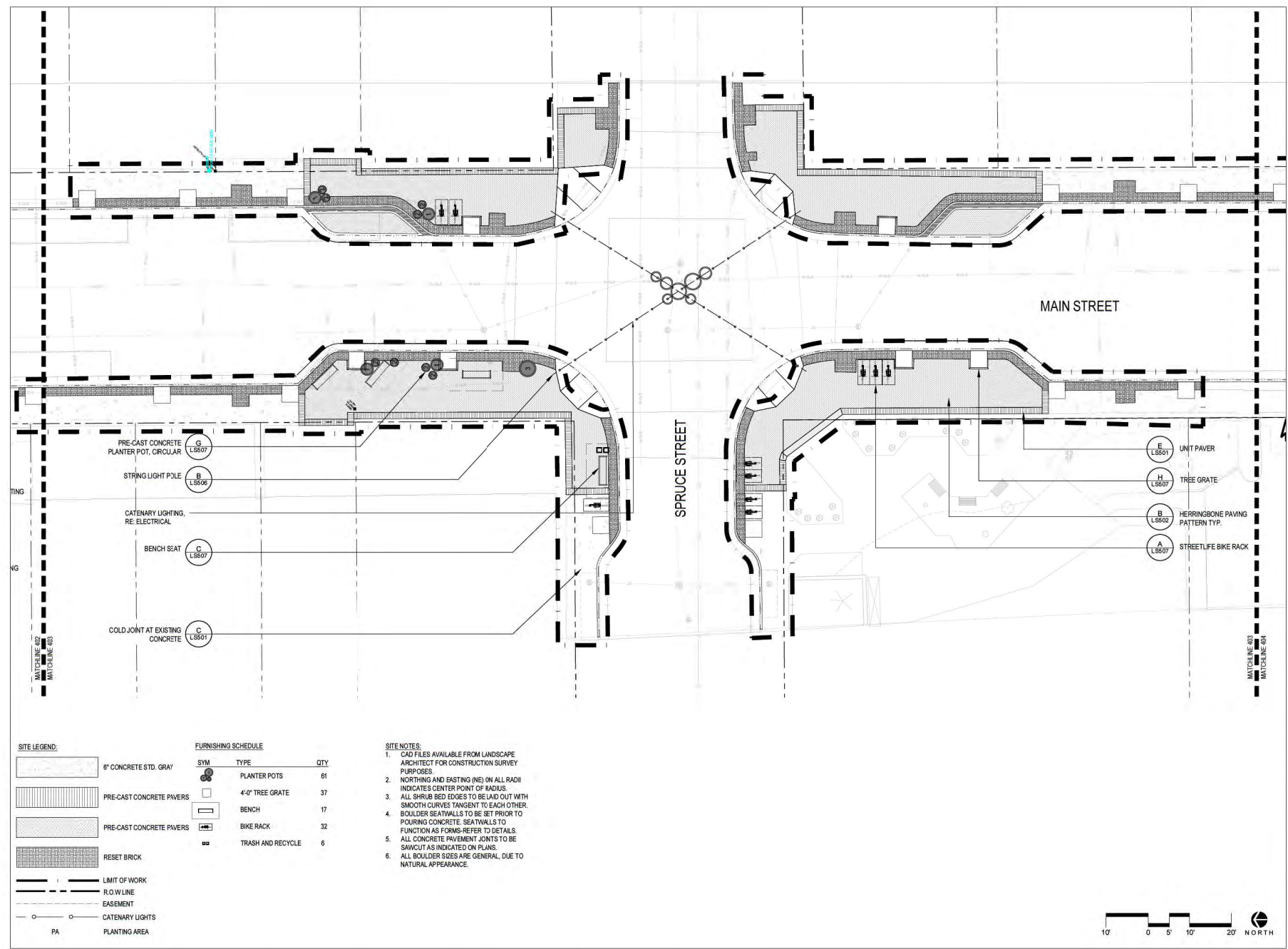
REV.	COMMENT	DATE

30% CONSTRUCTION DOCUMENTS

Date: 12.01.2025  
 Drawn By: PR  
 Checked By: JB

Sheet Name  
 SITE PLAN

Sheet  
 LS403



LOUISVILLE  
FRONT & CENTER



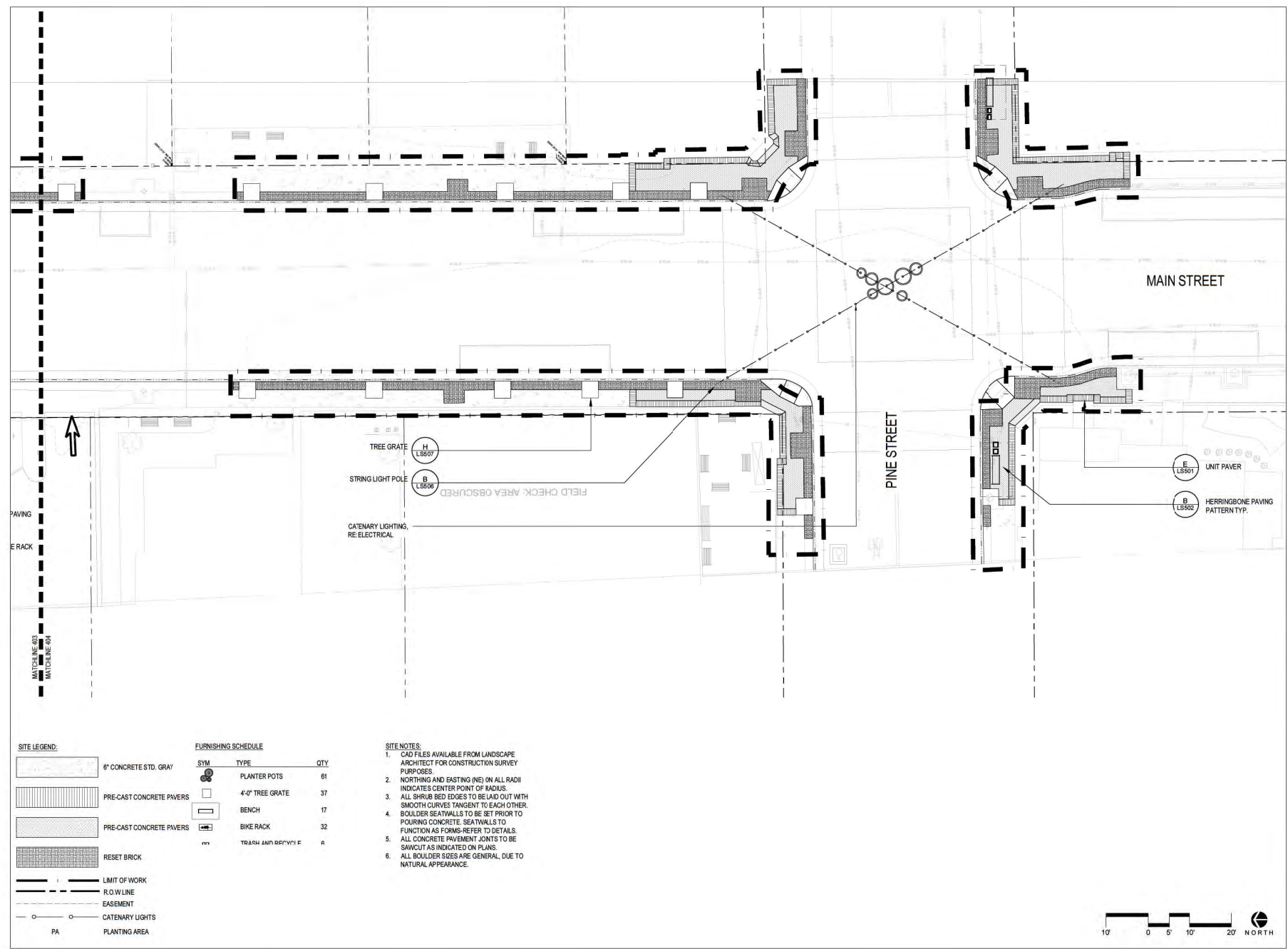
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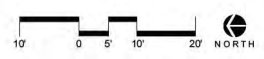
Sheet Name  
 SITE PLAN

Sheet  
 LS404



SITE LEGEND:		FURNISHING SCHEDULE		
	6" CONCRETE STD. GRAY	SYM	TYPE	QTY
	PRE-CAST CONCRETE PAVERS		PLANTER POTS	61
	PRE-CAST CONCRETE PAVERS		4'-0" TREE GRATE	37
	PRE-CAST CONCRETE PAVERS		BENCH	17
	RESET BRICK		BIKE RACK	32
	LIMIT OF WORK		TRASH AND RECYCLE	6
	R.O.W. LINE			
	EASEMENT			
	CATENARY LIGHTS			
	PLANTING AREA			

- SITE NOTES:**
- CAD FILES AVAILABLE FROM LANDSCAPE ARCHITECT FOR CONSTRUCTION SURVEY PURPOSES.
  - NORTHING AND EASTING (NE) ON ALL RADII INDICATES CENTER POINT OF RADIUS.
  - ALL SHRUB BED EDGES TO BE LAD OUT WITH SMOOTH CURVES TANGENT TO EACH OTHER.
  - BOULDER SEATWALLS TO BE SET PRIOR TO POURING CONCRETE SEATWALLS TO FUNCTION AS FORMS-REFER TO DETAILS.
  - ALL CONCRETE PAVEMENT JOINTS TO BE SAWCUT AS INDICATED ON PLANS.
  - ALL BOULDER SIZES ARE GENERAL, DUE TO NATURAL APPEARANCE.



LOUISVILLE  
FRONT & CENTER



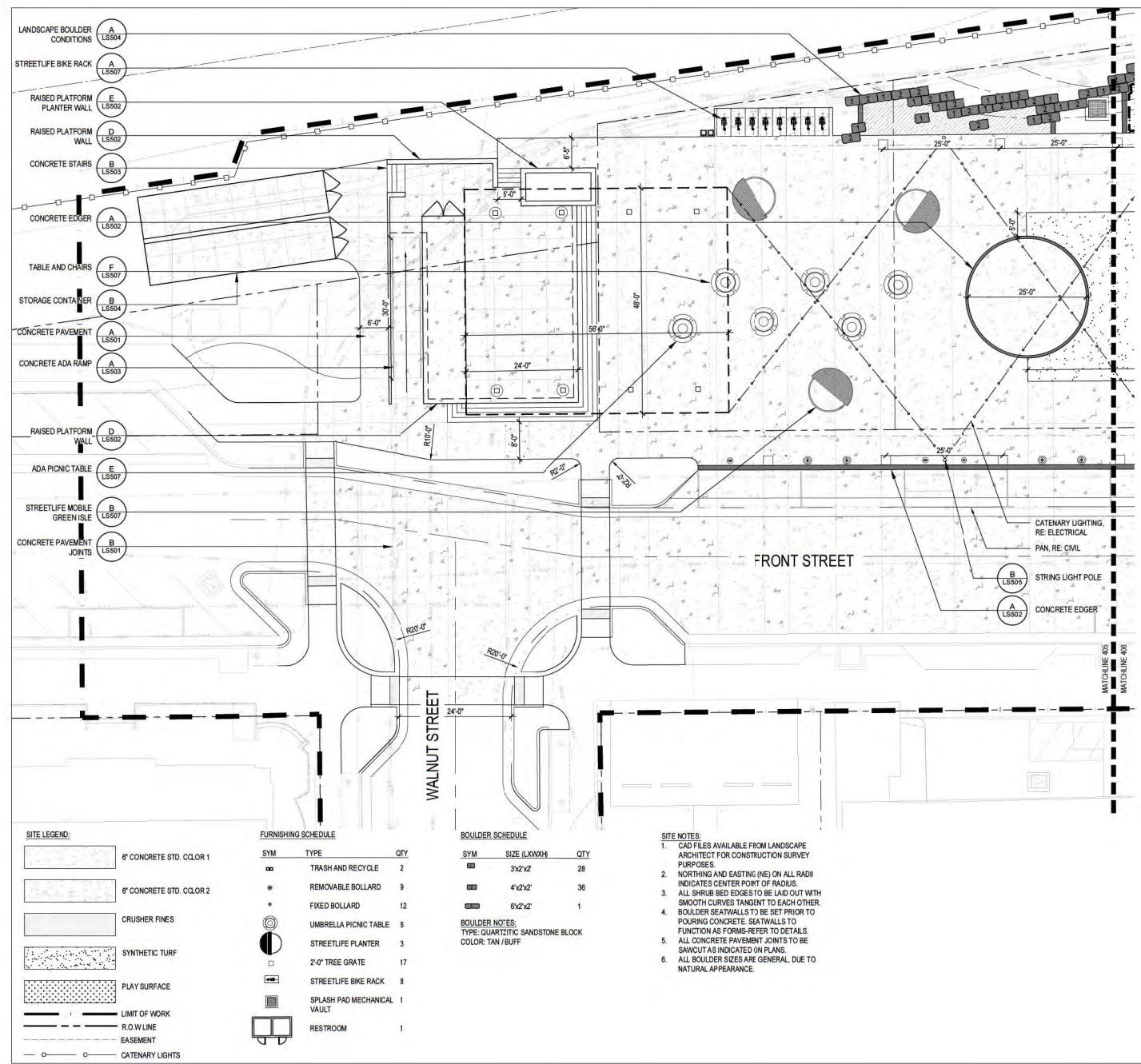
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Date: 12.01.2025  
 Drawn By: PR  
 Checked By: JB

Sheet Name  
 SITE PLAN

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 LS405



- LANDSCAPE BOULDER CONDITIONS (A) LS504
- STREETLIFE BIKE RACK (A) LS507
- RAISED PLATFORM PLANTER WALL (E) LS502
- RAISED PLATFORM WALL (D) LS502
- CONCRETE STAIRS (B) LS503
- CONCRETE EDGER (A) LS502
- TABLE AND CHAIRS (F) LS507
- STORAGE CONTAINER (B) LS504
- CONCRETE PAVEMENT (A) LS501
- CONCRETE ADA RAMP (A) LS503

- RAISED PLATFORM WALL (D) LS502
- ADA PICNIC TABLE (E) LS507
- STREETLIFE MOBILE GREEN ISLE (B) LS507
- CONCRETE PAVEMENT JOINTS (B) LS501

- CATENARY LIGHTING, RE ELECTRICAL PAN, RE CIVIL (B) LS505
- STRING LIGHT POLE (A) LS502
- CONCRETE EDGER (A) LS502

**SITE LEGEND:**

	6" CONCRETE STD. COLOR 1
	6" CONCRETE STD. COLOR 2
	CRUSHER FINES
	SYNTHETIC TURF
	PLAY SURFACE
	LIMIT OF WORK
	R.O.W. LINE
	EASEMENT
	CATENARY LIGHTS

**FURNISHING SCHEDULE**

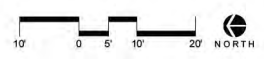
SYM	TYPE	QTY
	TRASH AND RECYCLE	2
	REMOVABLE BOLLARD	9
	FIXED BOLLARD	12
	UMBRELLA PICNIC TABLE	5
	STREETLIFE PLANTER	3
	2'-0" TREE GRATE	17
	STREETLIFE BIKE RACK	8
	SPLASH PAD MECHANICAL VAULT	1
	RESTROOM	1

**BOULDER SCHEDULE**

SYM	SIZE (LXWXH)	QTY
	3'x2'x2'	28
	4'x2'x2'	36
	6'x2'x2'	1

**BOULDER NOTES:**  
 TYPE: QUARTZITE SANDSTONE BLOCK  
 COLOR: TAN / BUFF

- SITE NOTES:**
- CAD FILES AVAILABLE FROM LANDSCAPE ARCHITECT FOR CONSTRUCTION SURVEY PURPOSES.
  - NORTHING AND EASTING (NE) ON ALL RADII INDICATES CENTER POINT OF RADIUS.
  - ALL SHRUB BED EDGES TO BE Laid OUT WITH SMOOTH CURVES TANGENT TO EACH OTHER.
  - BOULDER SEATWALLS TO BE SET PRIOR TO POURING CONCRETE. SEATWALLS TO FUNCTION AS FORMS-REFER TO DETAILS.
  - ALL CONCRETE PAVEMENT JOINTS TO BE SAWCUT AS INDICATED ON PLANS.
  - ALL BOULDER SIZES ARE GENERAL. DUE TO NATURAL APPEARANCE.



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FRONT & CENTER



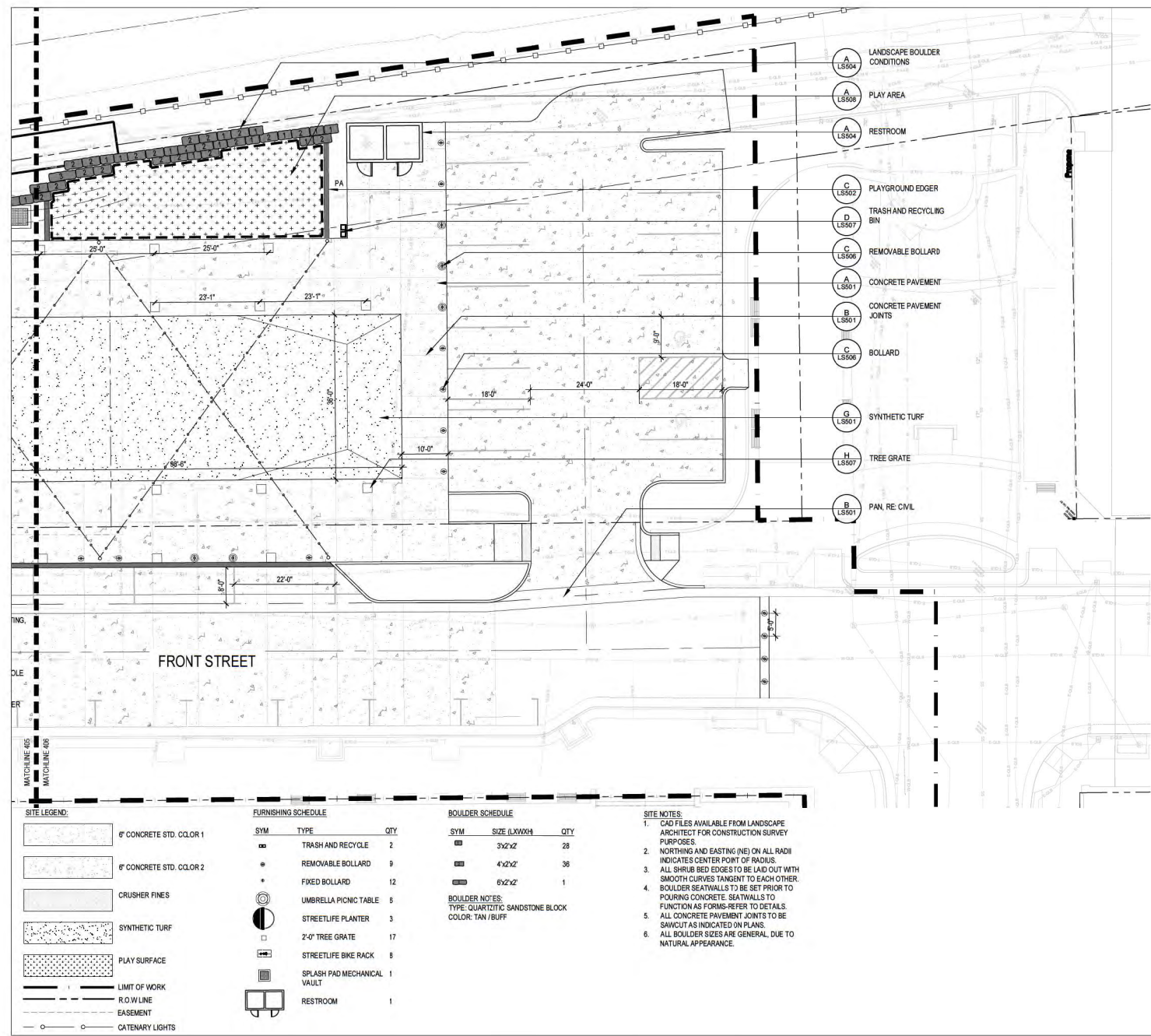
REV.	COMMENT	DATE

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Date: 12.01.2025  
 Drawn By: PR  
 Checked By: JB

Sheet Name  
 SITE PLAN

Sheet  
 LS406



- A LS504 LANDSCAPE BOULDER CONDITIONS
- A LS506 PLAY AREA
- A LS504 RESTROOM
- C LS502 PLAYGROUND EDGER
- D LS507 TRASH AND RECYCLING BIN
- C LS506 REMOVABLE BOLLARD
- A LS501 CONCRETE PAVEMENT
- B LS501 CONCRETE PAVEMENT JOINTS
- C LS506 BOLLARD
- G LS501 SYNTHETIC TURF
- H LS507 TREE GRATE
- B LS501 PAN, RE. CIVIL

**SITE LEGEND:**

	6" CONCRETE STD. CCLR 1
	6" CONCRETE STD. CCLR 2
	CRUSHER FINES
	SYNTHETIC TURF
	PLAY SURFACE
	LIMIT OF WORK
	R.O.W. LINE
	EASEMENT
	CATENARY LIGHTS

**FURNISHING SCHEDULE**

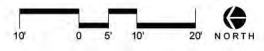
SYM	TYPE	QTY
	TRASH AND RECYCLE	2
	REMOVABLE BOLLARD	9
	FIXED BOLLARD	12
	UMBRELLA PICNIC TABLE	5
	STREETLIFE PLANTER	3
	2'-0" TREE GRATE	17
	STREETLIFE BIKE RACK	8
	SPLASH PAD MECHANICAL VAULT	1
	RESTROOM	1

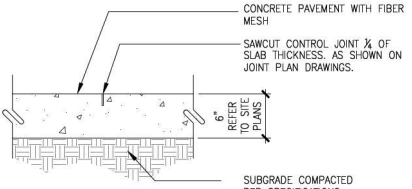
**BOULDER SCHEDULE**

SYM	SIZE (LxWxH)	QTY
	3'x2'x2'	28
	4'x2'x2'	36
	6'x2'x2'	1

**BOULDER NOTES:**  
 TYPE: QUARTZITE SANDSTONE BLOCK  
 COLOR: TAN / BUFF

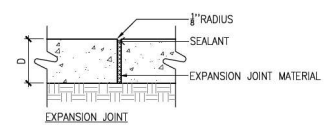
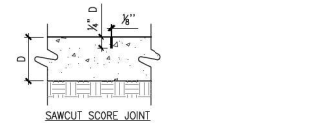
- SITE NOTES:**
- CAD FILES AVAILABLE FROM LANDSCAPE ARCHITECT FOR CONSTRUCTION SURVEY PURPOSES.
  - NORTHING AND EASTING (NE) ON ALL RADII INDICATES CENTER POINT OF RADIUS.
  - ALL SHRUB BED EDGES TO BE Laid OUT WITH SMOOTH CURVES TANGENT TO EACH OTHER.
  - BOULDER SEATWALLS TO BE SET PRIOR TO POURING CONCRETE. SEATWALLS TO FUNCTION AS FORMS-REFER TO DETAILS.
  - ALL CONCRETE PAVEMENT JOINTS TO BE SAWCUT AS INDICATED ON PLANS.
  - ALL BOULDER SIZES ARE GENERAL, DUE TO NATURAL APPEARANCE.



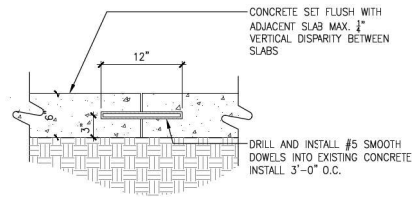


- NOTES:  
1. EXPANSION JOINTS PLACED PER JOINT PLAN, BUT NO LESS THAN 100' O.C.  
2. CONTROL JOINT PLACED PER JOINT PLAN, MAXIMUM SPACING 10'.  
3. CONCRETE TO HAVE FINE BROOM FINISH PERPENDICULAR TO CENTERLINE OF PAVING.  
4. FINISHED GRADE OF LANDSCAPE AREA TO BE 1" BELOW FINISH GRADE OF CONCRETE (TYPICAL BOTH SIDES).

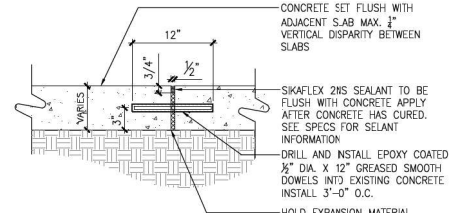
**A** CONCRETE PAVEMENT  
SCALE: N.T.S. DT-PAVI-COIC



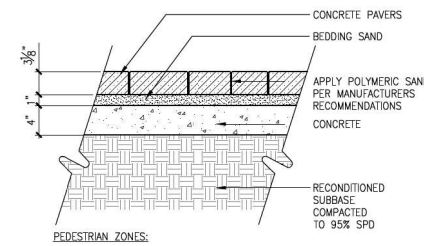
**B** CONCRETE PAVEMENT JOINTS  
SCALE: 1/2" = 1'-0"



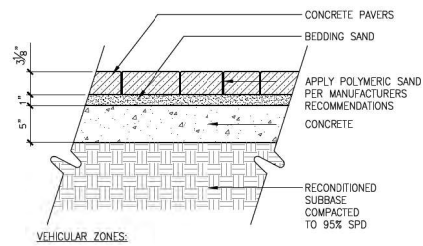
**C** COLD JOINT AT EXISTING CONCRETE  
SCALE: 1/2" = 1'-0"



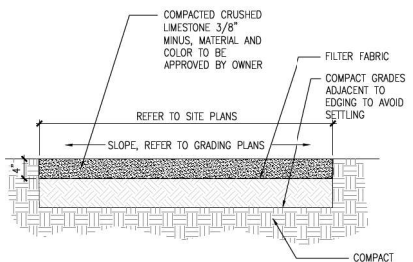
**D** EXPANSION JOINT  
SCALE: 1/2" = 1'-0"



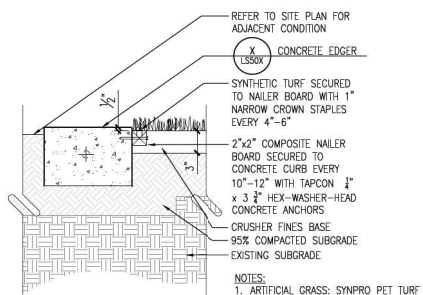
**E** UNIT PAVER  
SCALE: 1/2" = 1'-0"



**F** CRUSHER FINES  
SCALE: 1'-1'-0" DT-PWF-CRSH-IME-STIN

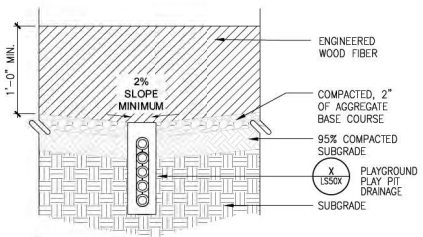


**F** CRUSHER FINES  
SCALE: 1'-1'-0" DT-PWF-CRSH-IME-STIN



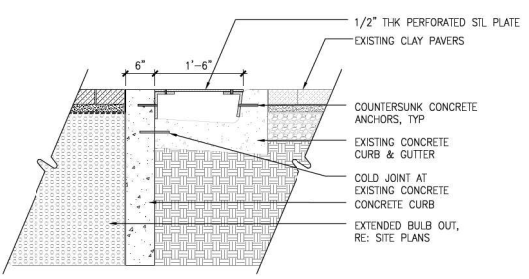
- NOTES:  
1. ARTIFICIAL GRASS: SYNPRO PET TURF OR APPROVED EQUAL.  
2. REFER SPECS FOR ADDITIONAL INFORMATION  
3. INSTALL AND GLUE PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

**G** SYNTHETIC TURF  
SCALE: 1/2" = 1'-0" DT-ART-TURF



- NOTES:  
1. REFER TO GRADING PLANS FOR DRAIN LOCATIONS AND MORE INFORMATION ON PLAY PIT SLOPES.

**H** ENGINEERED WOOD FIBER (EWF)  
SCALE: 1/2" = 1'-0" DT-PWF-EWF



**I** GUTTER GRATE  
SCALE: 1'-1'-0" DT-GUTTER-GRATE



REV.	COMMENT	DATE

30% CONSTRUCTION DOCUMENTS

Date: 12.01.2025  
Drawn By: PR  
Checked By: JB

Sheet Name  
SITE DETAILS

Sheet  
LS501



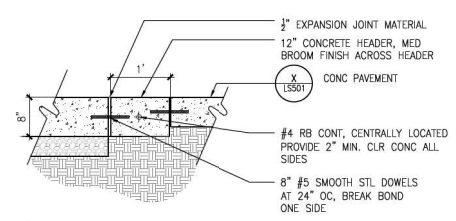
REV.	COMMENT	DATE

30% CONSTRUCTION DOCUMENTS

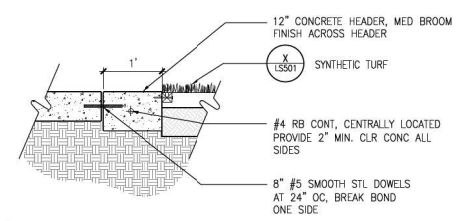
Date: 12.01.2025  
 Drawn By: PR  
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Sheet Name  
 SITE DETAILS  
 Sheet  
 LS502

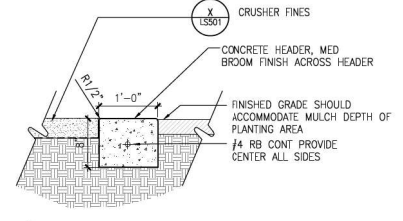
NOTE: CONTROL JOINTS SHALL BE PROVIDED IN CONCRETE HEADER AT 3' SPACING



12" WIDE CONCRETE EDGER AT FRONT STREET

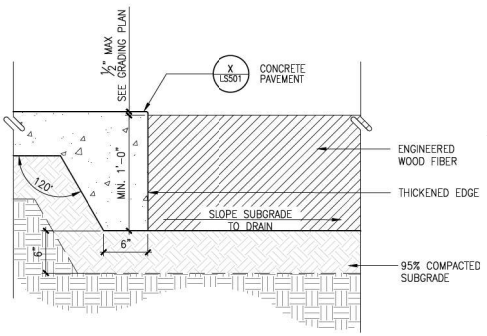


12" WIDE CONCRETE EDGER AT SYNTHETIC TURF

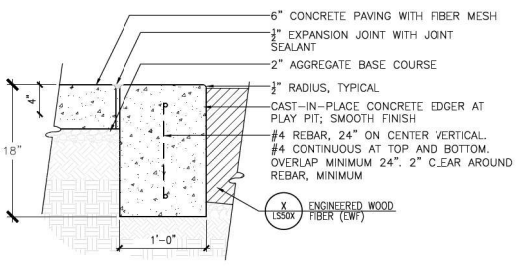


12" WIDE CONCRETE EDGER AT CRUSHER FINES

**A CONCRETE EDGERS**  
 SCALE: 1/2" = 1'-0"

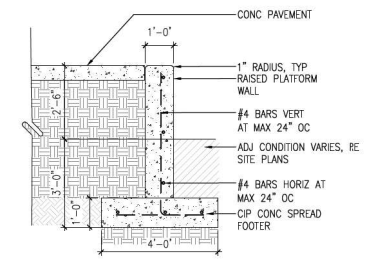


**B THICKENED EDGE AT PLAYPIT**  
 SCALE: 1/2" = 1'-0" DT-ENG-WOOD-FIBER

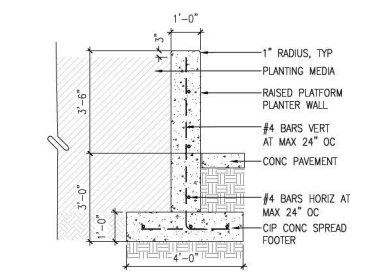


NOTES:  
 JOINT SPACING AT EDGER:  
 1. SAW CUT CONTROL JOINTS EQUALLY SPACED AT 8' MINIMUM, 10' MAXIMUM AND CONTINUE DOWN ENTIRE FACE OF EDGER  
 2. EXPANSION JOINTS EQUALLY SPACED AT 80' MINIMUM, 100' MAXIMUM  
 3. REFER TO SPECIFICATIONS FOR ALL MATERIALS CALLED OUT IN DETAIL

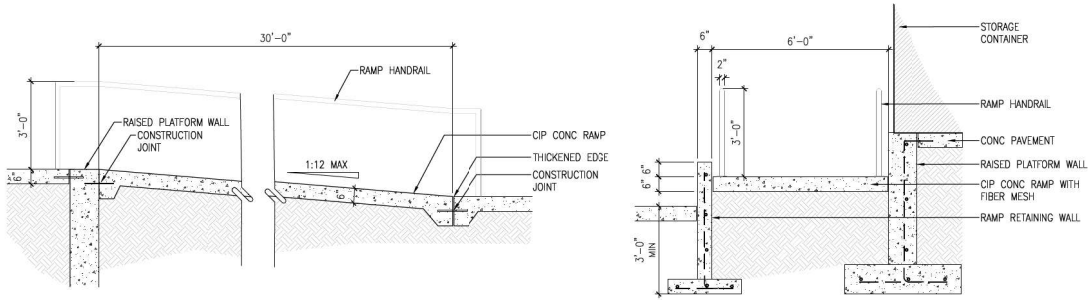
**C PLAYGROUND EDGER**  
 SCALE: 1/2" = 1'-0" DT-CRB-PLAN



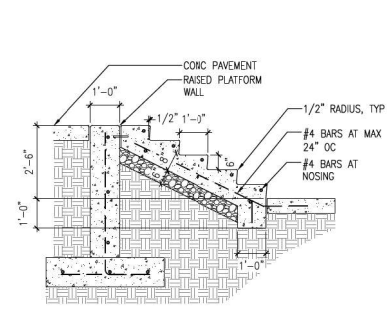
**D RAISED PLATFORM WALL**  
 SCALE: 1/2" = 1'-0"



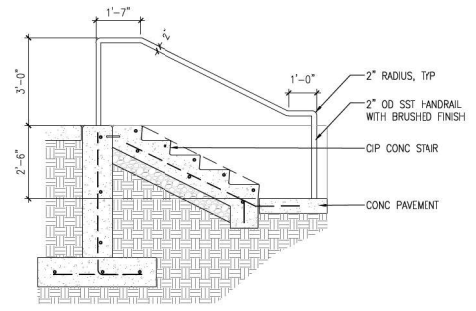
**E RAISED PLATFORM PLANTER WALL**  
 SCALE: 1/2" = 1'-0"



**A** CONCRETE ADA RAMP  
SCALE: 1/2"=1'-0"



**B** CONCRETE STAIR  
SCALE: 1/2"=1'-0"



**C** STAIR HANDRAIL  
SCALE: 1/2"=1'-0"



REV.	COMMENT	DATE

30% CONSTRUCTION DOCUMENTS

Date: 12.01.2025  
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Sheet Name  
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Sheet  
 LS503



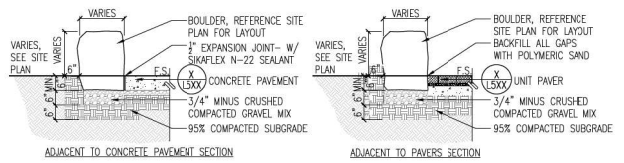
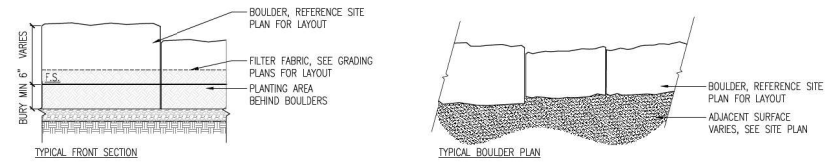
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Date: 12.01.2025  
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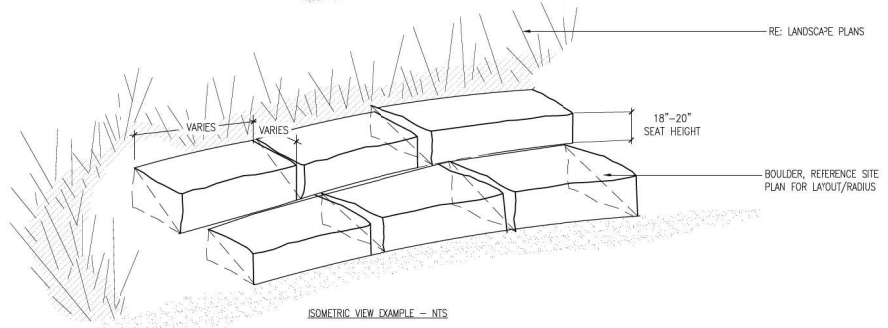
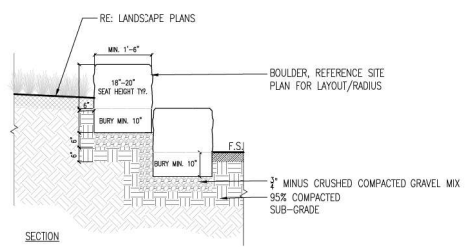
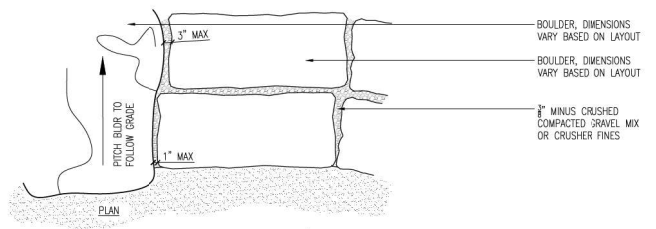
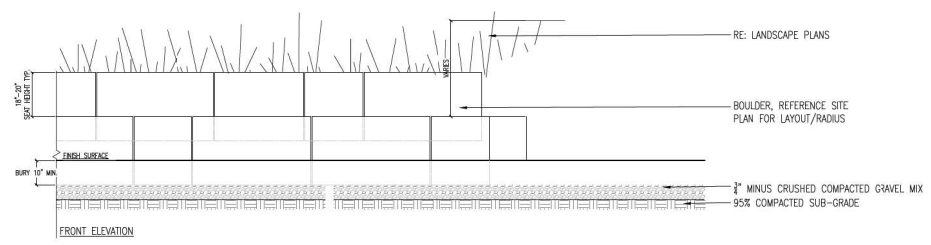
Sheet Name  
 SITE DETAILS

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 LS504



- NOTES:**
1. STONE BLOCK TO BE USED AS FORM FOR ADJACENT CONCRETE
  2. THERE SHALL BE NO MORE THAN A 8" MAX GAP BETWEEN TYPICAL
  3. THERE SHALL BE NO MORE THAN A 8" MAX GAP FOR DRAINAGE BREAK CONDITIONS
  4. ALL BOULDER PLACEMENT SHALL BE DONE UNDER SUPERVISION OF PROJECT LANDSCAPE ARCHITECT
  5. USE CAUTION TO AVOID UNDERGROUND UTILITIES
- BOULDER SIZING NOTES - TYPICAL ALL BOULDERS:**
1. NO BOULDER LENGTH SHALL EXCEED 3'-0" OR BE LESS THAN 1'-6"
  2. NO BOULDER WIDTH SHALL EXCEED 2'-0" OR BE LESS THAN 1'-0"
  3. NO BOULDER HEIGHT ABOVE FINISH SURFACE SHALL EXCEED 2'-0" OR BE LESS THAN 1'-6"

**A BOULDER SEATWALL CONDITIONS**  
 Scale: 1/2" = 1'-0"



- NOTES:**
1. STONE BLOCK TO BE USED AS FORM FOR ADJACENT SURFACE
  2. THERE SHALL BE NO MORE THAN A 1" MAX GAP BETWEEN BOULDERS AT THE FRONT AND A 3" MAX GAP TOWARD THE BACK OF THE BOULDERS **DESIGN INTENT IMAGE**
  3. FIELD CUT BOULDERS AS NECESSARY TO ACCOMMODATE EDGE CONDITIONS BETWEEN SHERMAN GRANITE MOSS BOULDERS AND ASPEN BOULDERS
  4. ALL BOULDER PLACEMENT SHALL BE DONE UNDER SUPERVISION OF PROJECT LANDSCAPE ARCHITECT
  5. USE CAUTION TO AVOID UNDERGROUND UTILITIES

**B BOULDER AMPHITHEATER SEATING**  
 Scale: 1/2" = 1'-0"

LOUISVILLE  
FRONT & CENTER



REV.	COMMENT	DATE

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LEGGND		
SYMBOL	DESCRIPTION	AREAY QUANTITY
	EXTERIOR WALL LIGHTS	2
	INTERIOR CEILING LIGHTS	2
	OVER DOOR WALL VENT	2
Ø	FLOOR DRAIN	2
∇	ELECTRICAL OUTLET	1

THESE PLAN VIEW AND ELEVATION DRAWINGS ARE A PRELIMINARY ARCHITECTURAL REPRESENTATION OF THE BUILDING. ALL DIMENSIONS, FEATURES AND COMPONENTS SHOWN ON THESE PRELIMINARY DRAWINGS MAY OR MAY NOT BE PART OF THE QUOTE. PLEASE REFER TO THE "SCOPE OF SUPPLY" AND SERVICES' LETTER PROVIDED WITH YOUR QUOTE FOR ROMTEC'S PROPOSED SCOPE OF SUPPLY.

WALL TYPE SCHEDULE	
1	8" REINFORCED CONCRETE
2	MASONRY BLOCK WALL WITH MORTAR JOINTS, GRADUATED SOLED ALL-CELLS RUNNING BOND PATTERN
3	8" PGDD FRAMED WALL

WATER SERVICE INTO BUILDING GOVERNED BY OWNER  
 1 1/2" WATER  
 4" SEWER  
 TO SANITARY SEWER SYSTEM GOVERNED BY OWNER  
 UNDERGROUND ELECTRICAL SERVICE VERIFY REQUIREMENTS FOR TYPING INTO SERVICE UTILITY EQUIPMENT BY OTHERS  
 FRPP OVER OSB OVER PGDD FRAMED WALL  
 CONCRETE PALK (BY INSTALLER)

01

THESE PLAN VIEW AND ELEVATION DRAWINGS ARE A PRELIMINARY ARCHITECTURAL REPRESENTATION OF THE BUILDING. ALL DIMENSIONS, FEATURES AND COMPONENTS SHOWN ON THESE PRELIMINARY DRAWINGS MAY OR MAY NOT BE PART OF THE QUOTE. PLEASE REFER TO THE "SCOPE OF SUPPLY" AND SERVICES' LETTER PROVIDED WITH YOUR QUOTE FOR ROMTEC'S PROPOSED SCOPE OF SUPPLY.

2X FASCIA, TYP  
 GULLAN PEAK BEAM  
 TAB  
 GULLAN MID BEAM  
 WALL VENT, TYP (2)  
 GULLAN EAVE BEAM  
 WALL MOUNT LIGHT, TYP  
 8"x16" CMU SPLIT FACE CONCRETE BLOCK WALL FULLY REINFORCED RUNNING BOND PATTERN

11 1/2" CH  
 FS  
 16'-8"

C ELEVATION VIEW  
 SCALE: 1/4" = 1'-0"

ARCH COMP ROOFING  
 GULLAN MID BEAM  
 3" VTR AV VENT BLOCT  
 GULLAN EAVE BEAM  
 GUTTERS & DOWNSPOUTS, BY OTHERS, TYP  
 2X FASCIA, TYP

2X FASCIA, TYP  
 GULLAN PEAK BEAM  
 1 1/2" CH  
 1/4" CEDAR TRIM, TYP  
 8"x16" CMU SPLIT FACE CONCRETE BLOCK WALL FULLY REINFORCED RUNNING BOND PATTERN  
 CONCRETE PALK BY INSTALLER

11 1/2" CH  
 FS  
 8'-8" 8'-0"

D ELEVATION VIEW  
 SCALE: 1/4" = 1'-0"

02

A RESTROOM  
 SCALE: NTS



MANUFACTURER: OUTBACK STORAGE  
 MODEL: CWWU625902-0  
 SIZE: 40'-0"  
 TYPE: HIGH CUBE, NEW (ONE-TRIP)  
 COLOR: GRAY  
 SEE MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION RECOMMENDATIONS

B STORAGE CONTAINER  
 SCALE: NTS



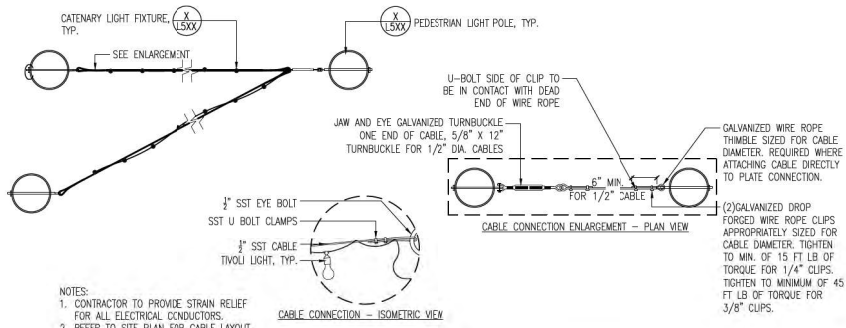
REV.	COMMENT	DATE

30% CONSTRUCTION  
DOCUMENTS

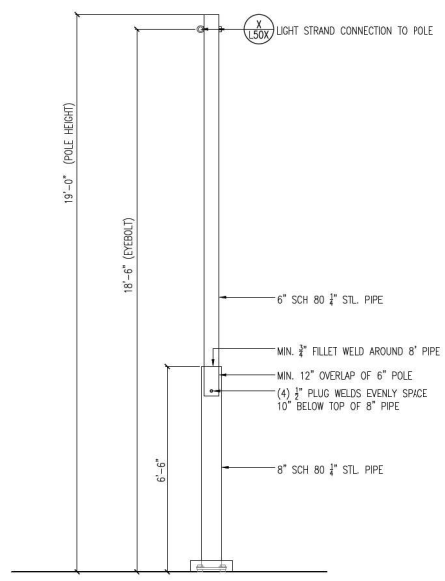
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SITE DETAILS

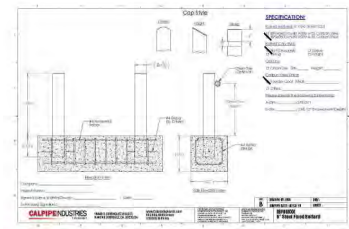
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**A** STRAND LIGHT CABLE  
Scale: 1" = 1'-0"

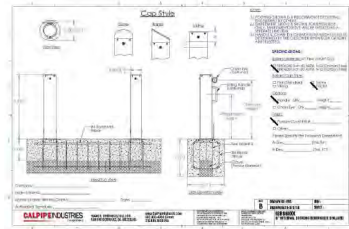


**B** STRING LIGHT POLE  
Scale: 1/2" = 1'-0"



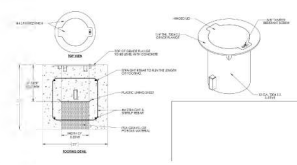
**STANDARD BOLLARD**  
MANUFACTURER: CALPIPE INDUSTRIES  
MODEL: 18"06080 6" STEEL FIXED BOLLARD  
CAP TYPE: STANDARD FLAT  
SIZE: 36" HT., 6" DIA. SCH 80  
COLOR: POWDERCOAT - COLOR TBD  
- APPLY CLEAR REFLECTIVE TAPE  
QTY: REFER TO PLANS  
REFER TO MANUFACTURERS SPECIFICATIONS FOR REQUIREMENTS

**C** BOLLARD  
SCALE: NTS



**REMOVABLE BOLLARD**  
MANUFACTURER: CALPIPE INDUSTRIES  
MODEL: 18"06080 6" INTERNAL LOCKING REMOVABLE BOLLARD  
CAP TYPE: STANDARD FLAT  
SIZE: 36" HT., 6" DIA. SCH 80  
COLOR: POWDERCOAT - COLOR TBD  
- APPLY CLEAR REFLECTIVE TAPE  
QTY: REFER TO PLANS  
REFER TO MANUFACTURERS SPECIFICATIONS FOR REQUIREMENTS

- NOTES:**
- EMBEDMENT DEPTH SHOULD MATCH BOLLARD EMBEDMENT DEPTH. REFER TO MANUFACTURERS REQ.
  - FOOTING SHOWN IS A FOOTING ENGINEERED BY OTHERS.
  - PLASTO LINING SHEET TO BE PLACED ON TOP OF PEX GRAVEL OR PEROUS MATERIAL TO PREVENT CONC. FROM SEEPING INTO SLEEVE DURING POUR. CUT OUT AFTER CONC. HAS CURED FOR DRAINAGE.
  - SLEEVE TO BE CLEAR OF CONC. OR DEBRIS THE FULL DEPTH OF EMBEDMENT.
  - LID WILL BE SECURED W/ A 3/8" TAMPER PROOF SCREW WHEN LID IS IN THE CLOSED POSITION.



EMBEDMENT SLEEVE



ROUGH&READY (R&R) BIKE RACK  
75x70 CM

**A** STREETLIFE BIKE RACK  
SCALE: 1/2" = 1'-0"



MANUFACTURER: STREETLIFE  
PRODUCT: SOLID MOBILE GREEN ISLES (MG)  
ROLND MODULE

**3** STREETLIFE MOBILE GREEN ISLE  
SCALE: 1/2" = 1'-0"



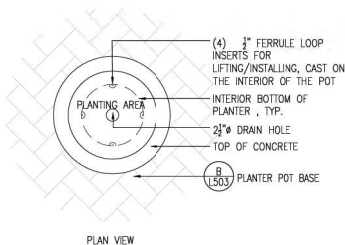
MANUFACTURER: ANOVA  
PRODUCT: MADISON 6' THERMOFORM BENCH

**C** BENCH SEAT  
SCALE: 1/2" = 1'-0"



MANUFACTURER: ANOVA  
PRODUCT: LATITUDE 40GAL TRASH AND RECYCLING BIN

**D** TRASH & RECYCLING BIN  
SCALE: 1/2" = 1'-0"



PLAN VIEW



ISOMETRIC VIEW

CONCRETE COLOR TO BE 60-01E OR CONCRETE DAVIS DARK GREY W/ ETCHED FINISH.



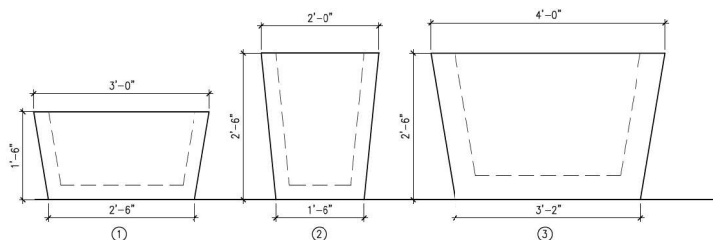
MANUFACTURER: ANOVA  
PRODUCT: ADA PICNIC TABLE

**E** ADA PICNIC TABLE  
SCALE: 1/2" = 1'-0"



MANUFACTURER: ANOVA  
PRODUCT: EXPOSITION CARROUSEL TABLE AND CHAIRS WITH FIBERBUILT LUCAYA UMBRELLA

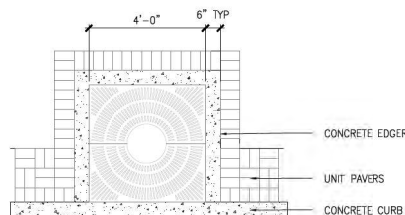
**F** TABLE & CHAIRS  
SCALE: 1/2" = 1'-0"



ELEVATION

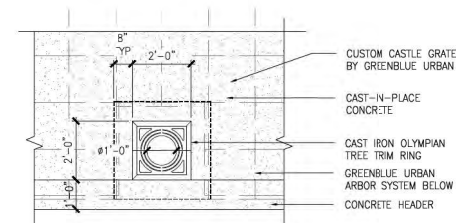
- NOTES:  
1. SOURCE FROM FORT COLLINS PRE-CAST, NO SUBSTITUTIONS.  
2. REFER TO PLANTER POT BASE DETAIL FOR MORE INFORMATION.  
3. CONCRETE COLOR TO BE 60-01E OR CONCRETE DAVIS DARK GRAY W/ ETCHED FINISH.

**G** PRE-CAST CONCRETE PLANTER POTS – CIRCULAR  
SCALE: 1'-1'-0"



MAIN STREET TREE GRATE SYSTEM  
MANUFACTURER: IRONSMITH  
MODEL: SUNRISE 4848 48" CAST IRON TREE GRATE  
REFER TO MANUFACTURERS SPECIFICATIONS FOR MORE INFORMATION

**H** TREE GRATE  
SCALE: NTS



STEINBAUGH PLAZA TREE GRATE SYSTEM  
MANUFACTURER: IRONSMITH  
MODEL: CUSTOM-PVG  
20" CAST IRON OLYMPIAN TREE TRIM RING  
REFER TO MANUFACTURERS SPECIFICATIONS FOR MORE INFORMATION



REV.	COMMENT	DATE

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Date: 12.01.2025

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Sheet Name

SITE DETAILS

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LS507



REV.	COMMENT	DATE

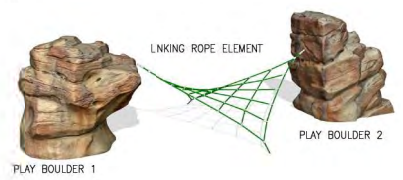
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Date: 12.01.2025  
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Sheet Name  
 SITE DETAILS

Sheet  
 LS508

DESIGN INTENT



PLAYWORLD  
LOOPY WHOOOP



PLAY COMPANY: STAR PLAYGROUNDS (PLAYWORLD + BERLINER SELECTIONS)  
 9892 Titan Park Circle, Unit 1, Littleton, CO 80125  
 303-845-0234



PLAY COMPANY: EL Dorado CLIMBING (INDEPENDENT)  
 1699 Cherry St Unit B, Louisville, CO 80027, USA  
 303-447-0512



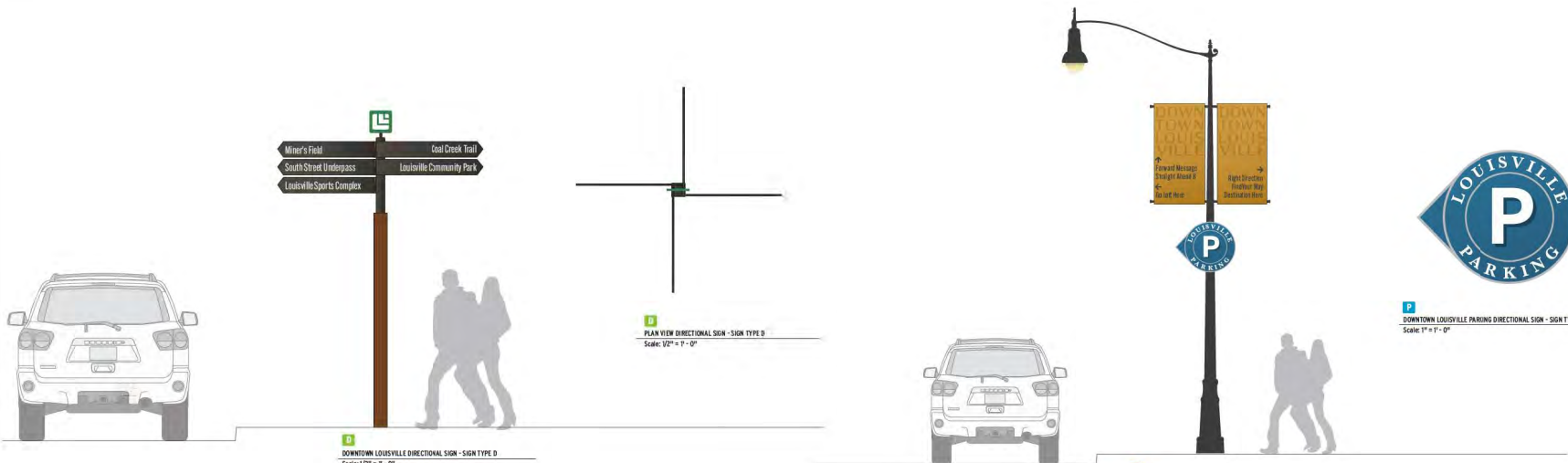
PLAY COMPANY: STAR PLAYGROUNDS (EARTHSCAPES SELECTIONS)  
 9392 Titan Park Circle, Unit 1, Littleton, CO 80125  
 303-845-0234

**A** PLAY AREA – EQUIPMENT OPTION A  
 SCALE: 1/2" = 1'-0"

**B** PLAY AREA – EQUIPMENT OPTION B  
 SCALE: 1/2" = 1'-0"

**C** PLAY AREA – EQUIPMENT OPTION C  
 SCALE: 1/2" = 1'-0"

LOUISVILLE  
FRONT & CENTER

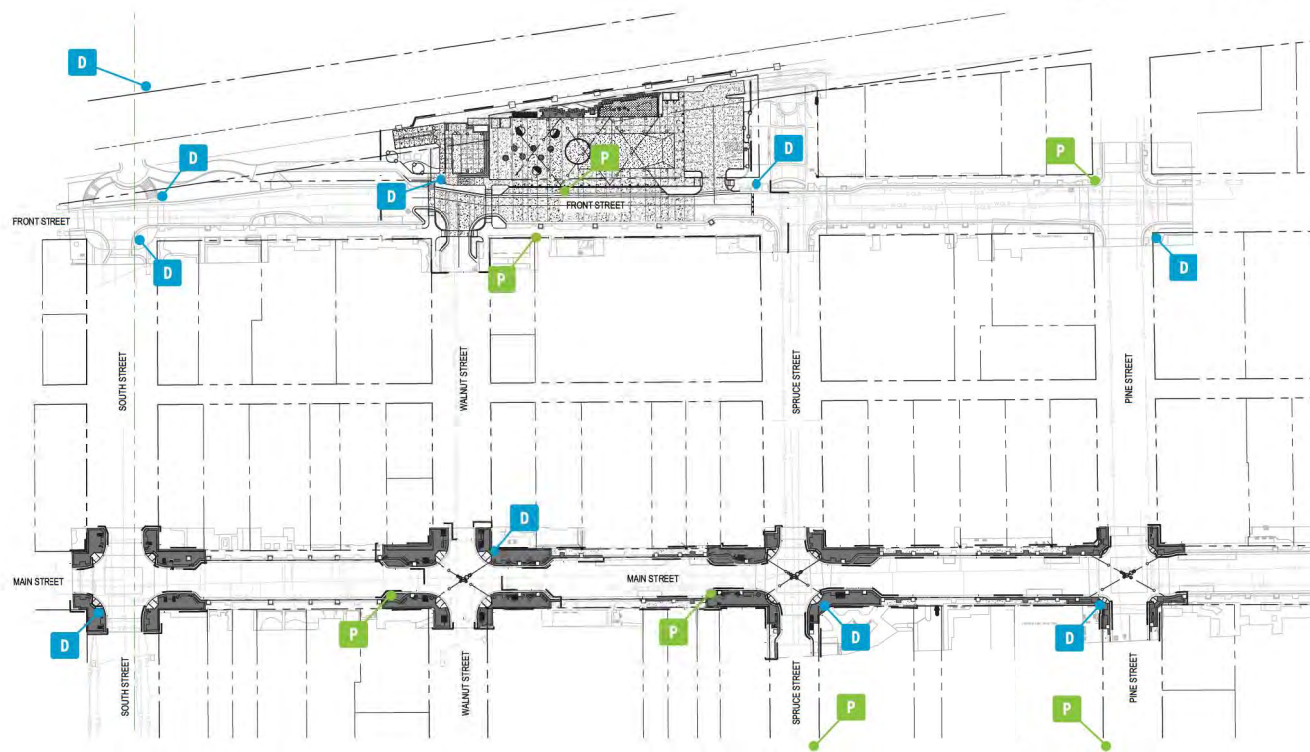


**D**  
DOWNTOWN LOUISVILLE DIRECTIONAL SIGN - SIGN TYPE D  
Scale: 1/2" = 1'-0"

**D**  
PLAN VIEW DIRECTIONAL SIGN - SIGN TYPE D  
Scale: 1/2" = 1'-0"

**P**  
DOWNTOWN LOUISVILLE PARKING DIRECTIONAL SIGN - SIGN TYPE P  
Scale: 3/8" = 1'-0"

**P**  
DOWNTOWN LOUISVILLE PARKING DIRECTIONAL SIGN - SIGN TYPE P  
Scale: 1" = 1'-0"



**PROPOSED SIGN LOCATIONS  
ARE PRELIMINARY AND  
SUBJECT TO CHANGE**

SIGN LOCATION PLAN  
DOWNTOWN LOUISVILLE

- SIGN TYPE LEGEND
- D** Sign Type D: Pedestrian Directional
  - P** Sign Type P: Parking Directional



REV.	COMMENT	DATE

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DOCUMENTS

Date: 12.01.2025  
Drawn By: PR  
Checked By: JB

Sheet Name  
OVERALL  
WAYFINDING PLAN

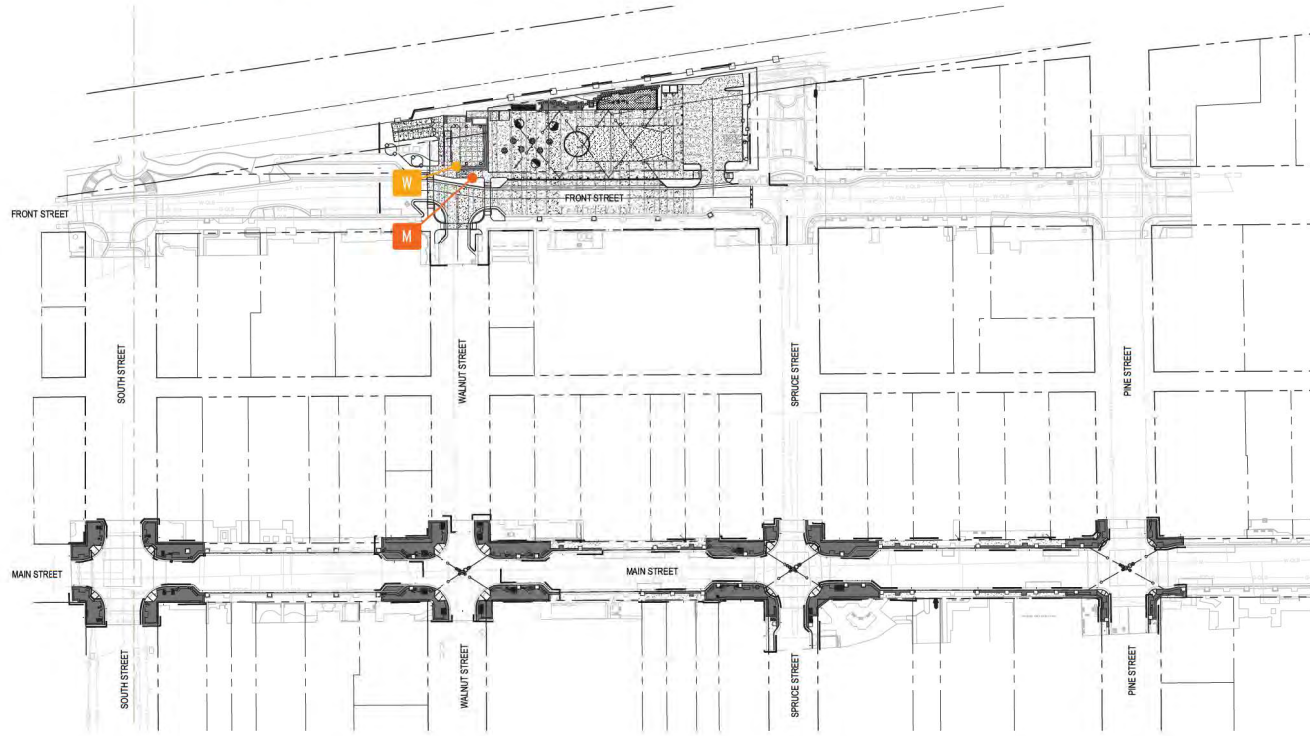
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PLACEHOLDER DESIGN - FINAL DESIGN TBD



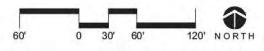
REFERENCE IMAGE ONLY



PROPOSED SIGN LOCATIONS  
ARE PRELIMINARY AND  
SUBJECT TO CHANGE

SIGN LOCATION PLAN  
DOWNTOWN LOUISVILLE

- SIGN TYPE LEGEND
- M** Sign Type M: Steinbaugh Pavilion Monument
  - W** Sign Type W: Steinbaugh Pavilion Wall Sign



REV.	COMMENT	DATE

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DOCUMENTS

Date: 12.01.2025  
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Sheet Name  
OVERALL  
WAYFINDING PLAN

Sheet  
A100

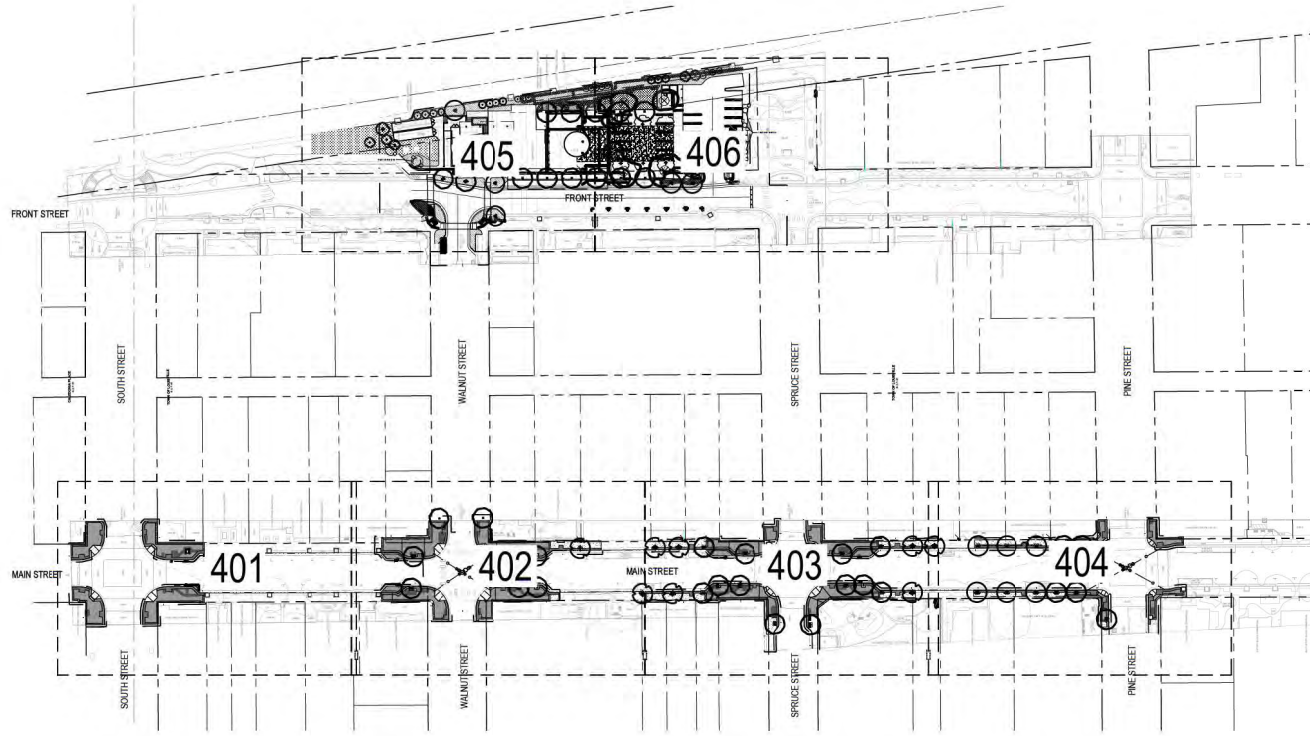


LANDSCAPE SCHEDULE

QUANTITY	SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	HEIGHT	SPREAD	HYDROZONE
<b>DECIDUOUS TREES</b>							
25		GLEDITSIA TRIACANTHOS NERMIS 'SKYCOLE'	SKYLINE HONEYLOCUST	2" CAL./B&B	40-50'	35-45'	
8		GYMNOCLADUS DIOICA 'ESPRESSO'	ESPRESSO KENTUCKY COFFEETREE	2" CAL./B&B	50-60'	30-35'	
6		QUERCUS MACROCARPA	BUR OAK	2" CAL./B&B	50-60'	35-45'	

GENERAL LANDSCAPE NOTES:

- ALL LANDSCAPING AND PLANTS TO BE LOCATED NOT TO INTERFERE WITH EXISTING OR PROPOSED UTILITIES CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES, LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE TO THESE UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER OR LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH A(N) AMERICAN ASSOCIATION OF NURSERMEN SPECIFICATIONS FOR NUMBER ONE GRADE.
- PLANT QUANTITIES SHOWN FOR INFORMATION PURPOSES ONLY, CONTRACTOR TO VERIFY ALL QUANTITIES.
- ALL TREE AND SHRUB LOCATIONS SHALL BE STAKED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT.
- PLANT SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT.
- PLANTS SHALL BE INSTALLED IMMEDIATELY UPON DELIVERY TO SITE, IF THIS IS NOT POSSIBLE, PLANTS SHALL BE HEELED IN AND WATERED TO PREVENT DEHYDRATION.
- SOIL AMENDMENT:  
 SOD AREAS - 4 CY. PER 1,000 S.F. OF COMPOST TILLED INTO 4" OF EXISTING SOIL. APPLY DAMONIUM PHOSPHATE (18-46-0) AT ONE HUNDRED (100) POUNDS NITROGEN PER ACRE.  
 SHRUB AND PLANTING BEDS - 4" OF COMPOST TILLED INTO 6" OF EXISTING SOIL.  
 ACCEPTABLE PRODUCT: CLASS I COMPOST. COMPOSTED MATERIAL SHALL CONSIST OF AGED ORGANIC MATTER, FREE OF WEED OR OTHER NOXIOUS PLANT SEEDS, LUMPS, STONES, OR OTHER FOREIGN CONTAMINANTS HARMFUL TO PLANT LIFE, AND HAVING THE FOLLOWING CHARACTERISTICS BASED ON A NUTRIENT TEST PERFORMED NO LONGER THAN 3 MONTHS PRIOR TO ITS INCORPORATION INTO THE PROJECT.  
 A. ORGANIC MATTER: 25% MINIMUM.  
 B. SALT CONTENT: 3.0 MM-HOS/CM MAXIMUM  
 C. PH: 7.5 MAXIMUM  
 D. CARBON TO NITROGEN RATIO OF 10:1 TO 20:1
- SOD TO BE REPLACED OVER ALL TRENCHED IRRIGATION LINES.
- INSTALL 4" OF ORGANIC WOOD MULCH IN EXISTING PLANTING BEDS AND TREE PLANTING PITS THAT HAVE BEEN DISTURBED OR ENLARGED MULCH TO MATCH EXISTING.
- ALL DAMAGED OR DEAD PLANT MATERIAL TO BE REPLACED. CONTRACTOR TO PROVIDE WATER THROUGHOUT CONSTRUCTION PERIOD.



**SITE LEGEND:**

	ORGANIC WOOD MULCH MIN. DEPTH: 4" (NO WEED BARRIER) TYPE:
	COBBLE MULCH COLOR: XXX SIZE RANGE: XX-XX
	IRRIGATED SOD (3 TYPE BLUEGRASS HYBRID BLEND W 20% TEXAS BLUEGRASS)
	NATIVE SEED RE: SCHEDULE
	EDGER (6" HT. / 7 GAUGE MIN)
	CJ STRUCTURAL SOIL EXTENT

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REV.	COMMENT	DATE

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Date: 12.01.2025  
 Drawn By: PR  
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Sheet Name  
 OVERALL PLANTING PLAN

Sheet  
 LP100

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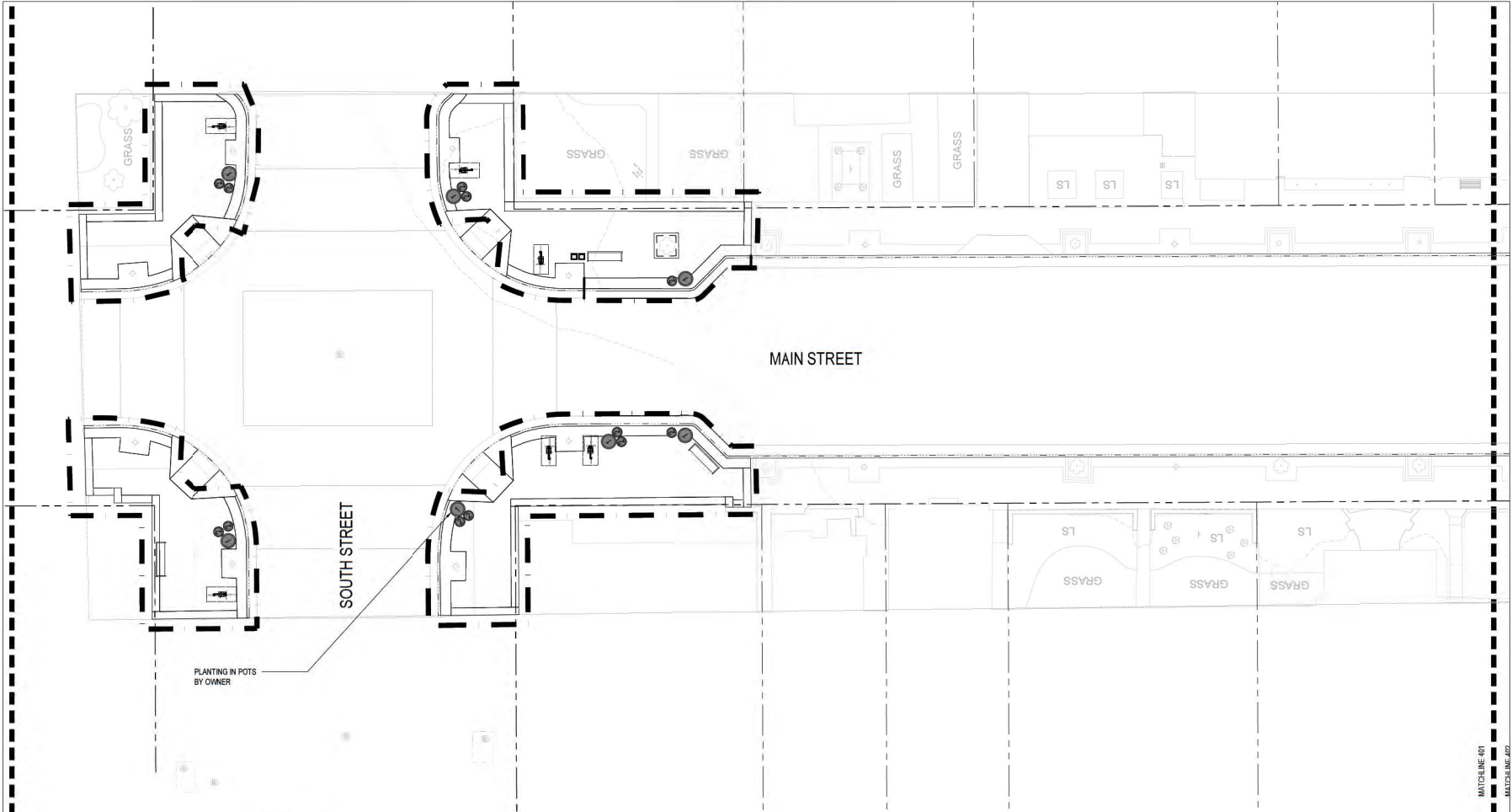
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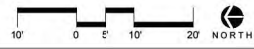


PLANTING IN POTS  
BY OWNER

- SITE LEGEND:**
- ORGANIC WOOD MULCH  
MIN. DEPTH: 4" (NO WEED BARRIER)  
TYPE:
  - COBBLE MULCH  
COLOR: XXX  
SIZE RANGE: XX-XX
  - IRRIGATED SOO  
(3 TYPE BLUEGRASS HYBRID BLEND  
W/ 20% TEXAS BLUEGRASS)
  - NATIVE SEED  
RE. SCHEDULE
  - EDGER (6" HT. / 7 GAUGE MIN.)
  - CU STRUCTURAL SOIL EXTENT

LANDSCAPE SCHEDULE

QUANTITY	SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	HEIGHT	SPREAD
<b>DECIDUOUS TREES</b>						
25		GLEDTISIA TRIACANTHOS INERMIS 'SKYCOLE'	SKYLINE HONEYLOCUST	2" CAL./B&B	40-50'	35-45'
8		GYMNOCLADUS DIOICA 'ESPRESSO'	ESPRESSO KENTUCKY COFFEETREE	2" CAL./B&B	50-60'	30-35'
6		QUERCUS MACROCARPA	BUR OAK	2" CAL./B&B	50-60'	35-45'



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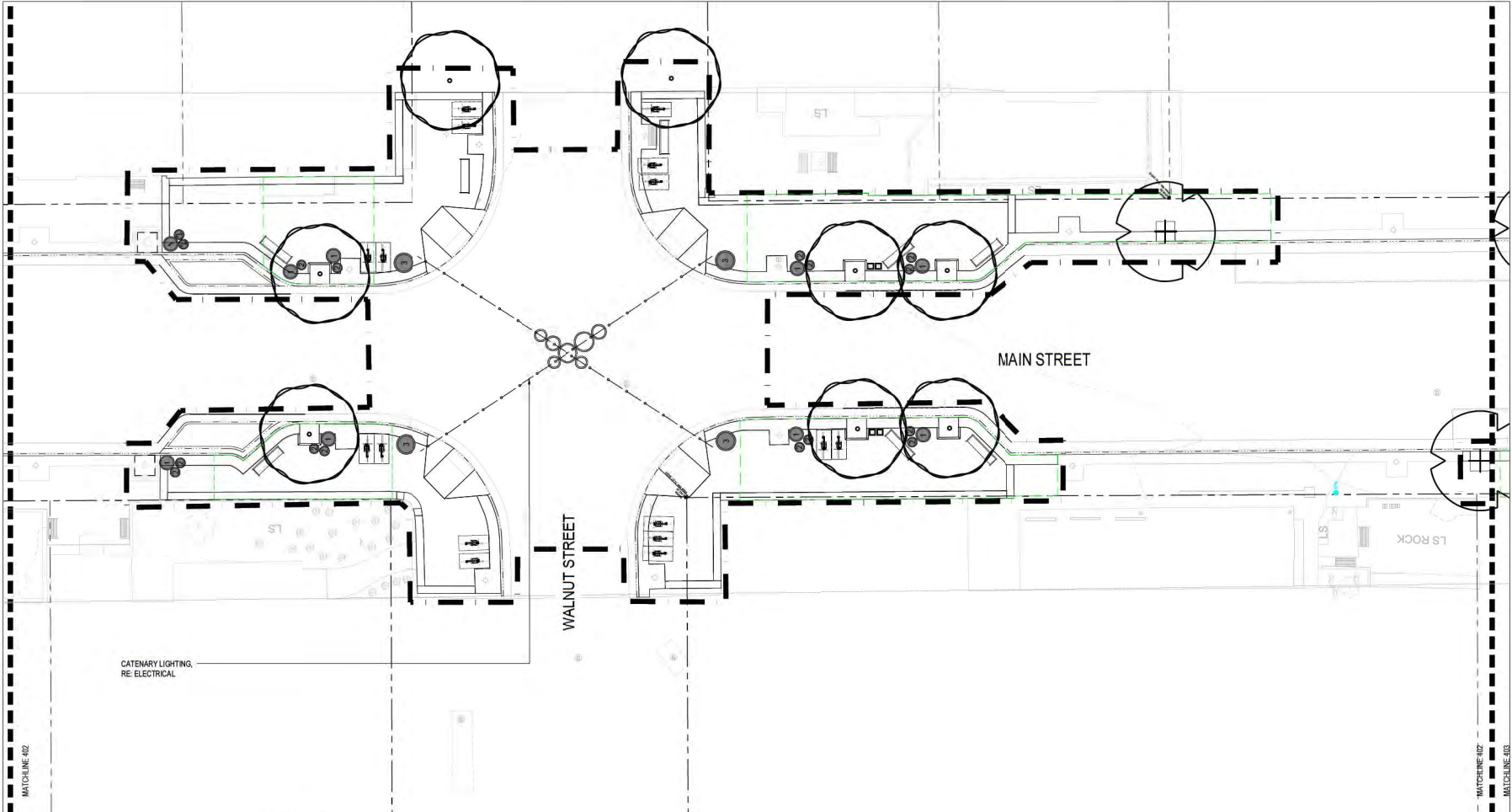
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Date: 12.01.2025  
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Sheet Name  
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 LP402



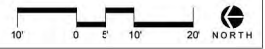
- SITE LEGEND:**
- ORGANIC WOOD MULCH  
MIN. DEPTH: 4" (NO WEED BARRIER)  
TYPE:
  - COBBLE MULCH  
COLOR: XXX  
SIZE RANGE: XX-XX
  - IRRIGATED SOO  
(3 TYPE BLUEGRASS HYBRID BLEND  
W/ 20% TEXAS BLUEGRASS)
  - NATIVE SEED  
RE. SCHEDULE
  - EDGER (6" HT. / 7 GAUGE MIN.)
  - CU STRUCTURAL SOIL EXTENT

**LANDSCAPE SCHEDULE**

QUANTITY	SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	HEIGHT	SPREAD
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**DECIDUOUS TREES**

25		GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	SKYLINE HONEYLOCUST	2" CAL./B&B	40-50'	35-45'
8		GYMNOCALADUS DIOICA 'ESPRESSO'	ESPRESSO KENTUCKY COFFEETREE	2" CAL./B&B	50-60'	30-35'
6		QUERCUS MACROCARPA	BUR OAK	2" CAL./B&B	50-60'	35-45'



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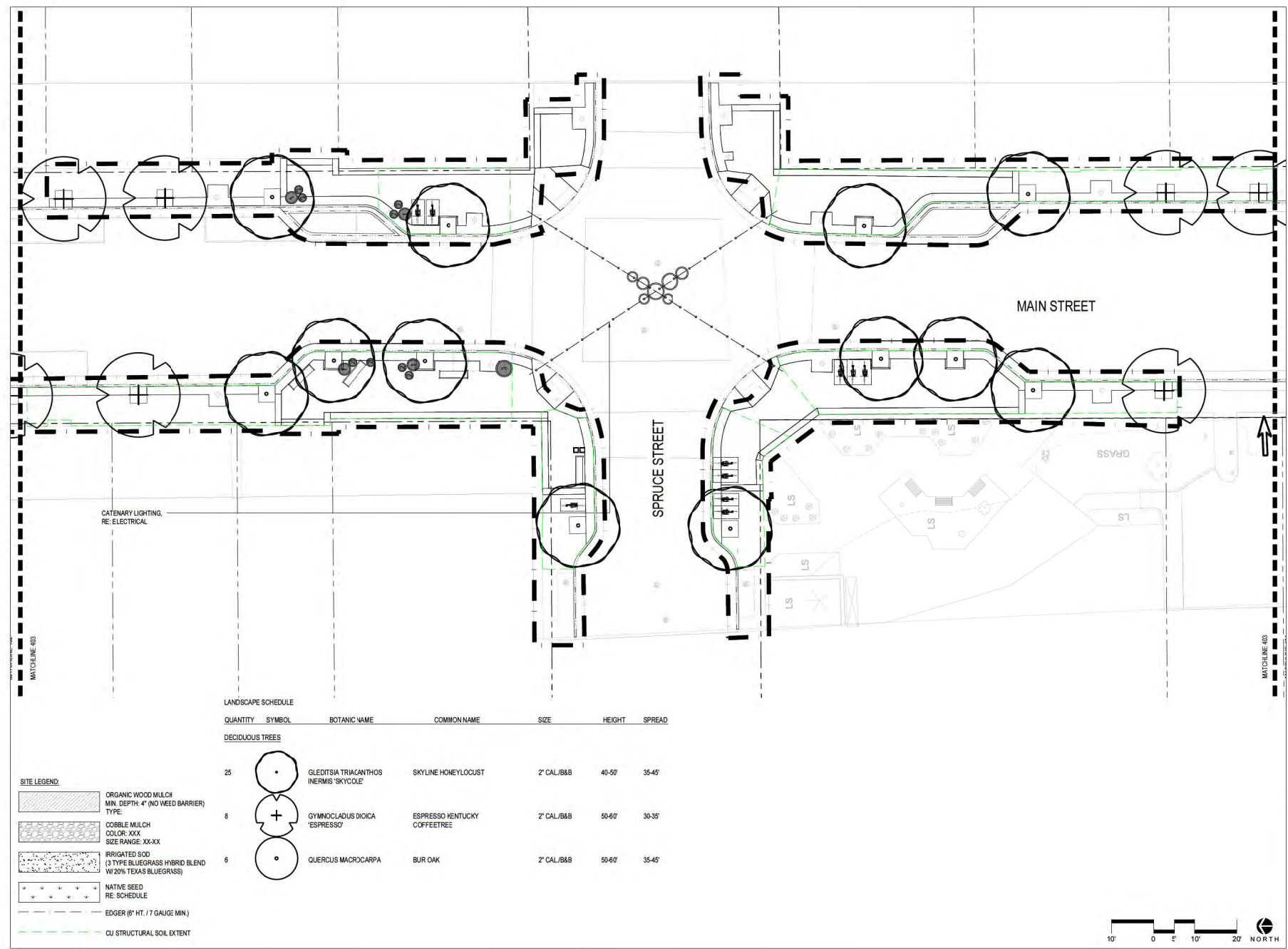
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Sheet Name  
 PLANTING PLAN

Sheet  
 LP403



LANDSCAPE SCHEDULE

QUANTITY	SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	HEIGHT	SPREAD
<b>DECIDUOUS TREES</b>						
25		GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	SKYLINE HONEYLOCUST	2" CAL./B&B	40-50'	35-45'
8		GYMNOCLADUS DIOICA 'ESPRESSO'	ESPRESSO KENTUCKY COFFEETREE	2" CAL./B&B	50-60'	30-35'
6		QUERCUS MACROCARPA	BUR OAK	2" CAL./B&B	50-60'	35-45'

- SITE LEGEND:**
- ORGANIC WOOD MULCH  
MIN. DEPTH: 4" (NO WEED BARRIER)  
TYPE:
  - COBBLE MULCH  
COLOR: XXX  
SIZE RANGE: XXXXX
  - IRRIGATED SOO  
(3 TYPE BLUEGRASS HYBRID BLEND  
W/ 20% TEXAS BLUEGRASS)
  - NATIVE SEED  
RE: SCHEDULE
  - EDGER (6" HT. / 7 GAUGE MIN.)
  - CU STRUCTURAL SOIL EXTENT

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REV.	COMMENT	DATE

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DOCUMENTS

Date: 12.01.2025

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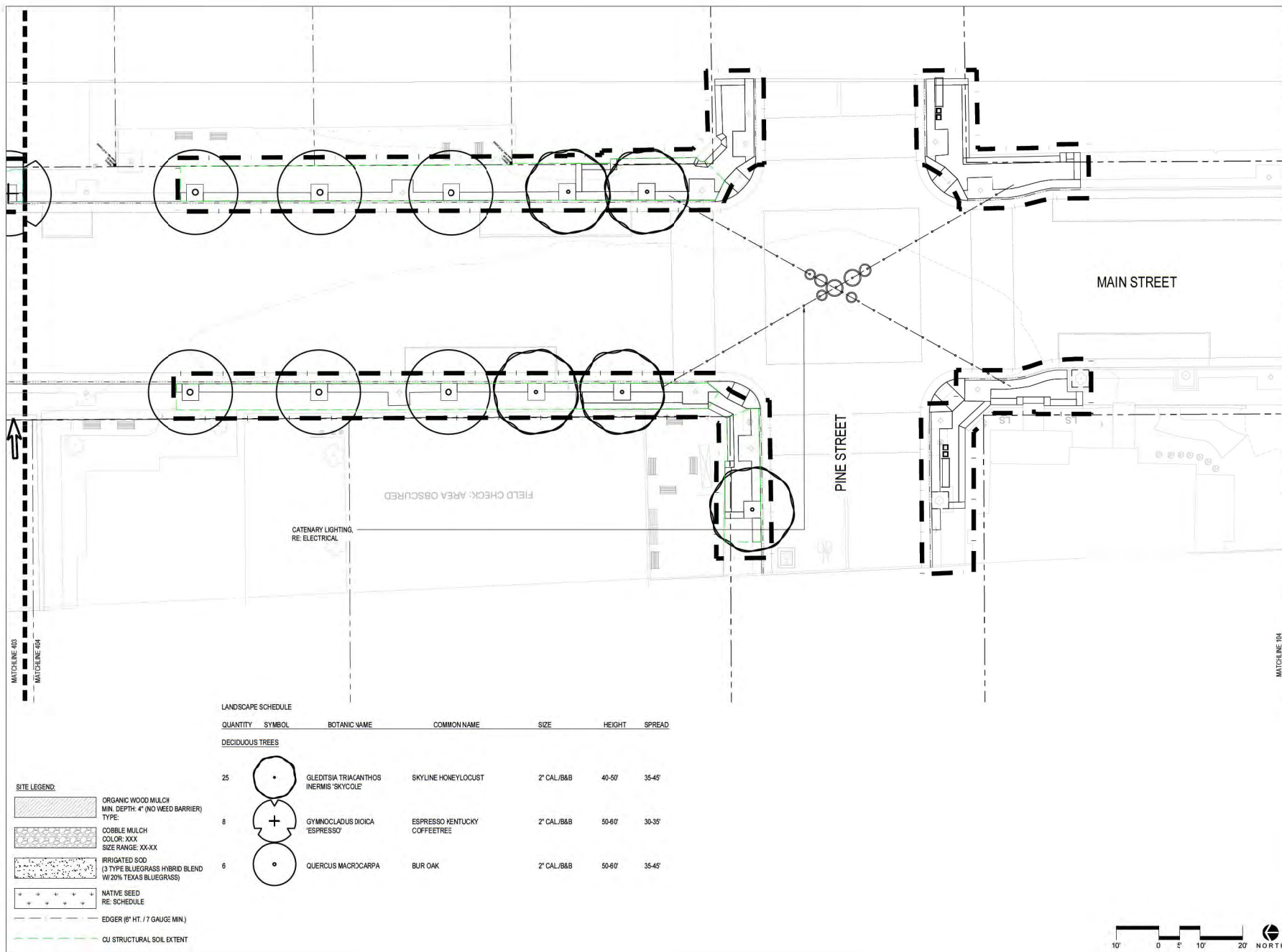
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Sheet Name

PLANTING PLAN

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LP404



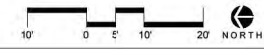
LANDSCAPE SCHEDULE

QUANTITY	SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	HEIGHT	SPREAD
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DECIDUOUS TREES

25		GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	SKYLINE HONEYLOCUST	2" CAL./B&B	40-50'	35-45'
8		GYMNOCCLADUS DIOICA 'ESPRESSO'	ESPRESSO KENTUCKY COFFEETREE	2" CAL./B&B	50-60'	30-35'
6		QUERCUS MACROCARPA	BUR OAK	2" CAL./B&B	50-60'	35-45'

- SITE LEGEND:
- ORGANIC WOOD MULCH  
MIN. DEPTH: 4" (NO WEED BARRIER)  
TYPE:
  - COBBLE MULCH  
COLOR: XXX  
SIZE RANGE: XXXX
  - IRRIGATED SOO  
(3 TYPE BLUEGRASS HYBRID BLEND  
W/ 20% TEXAS BLUEGRASS)
  - NATIVE SEED  
RE: SCHEDULE
  - EDGER (6" HT. / 7 GAUGE MIN.)
  - CU STRUCTURAL SOIL EXTENT





REV.	COMMENT	DATE

30% CONSTRUCTION  
DOCUMENTS

Date: 12.01.2025

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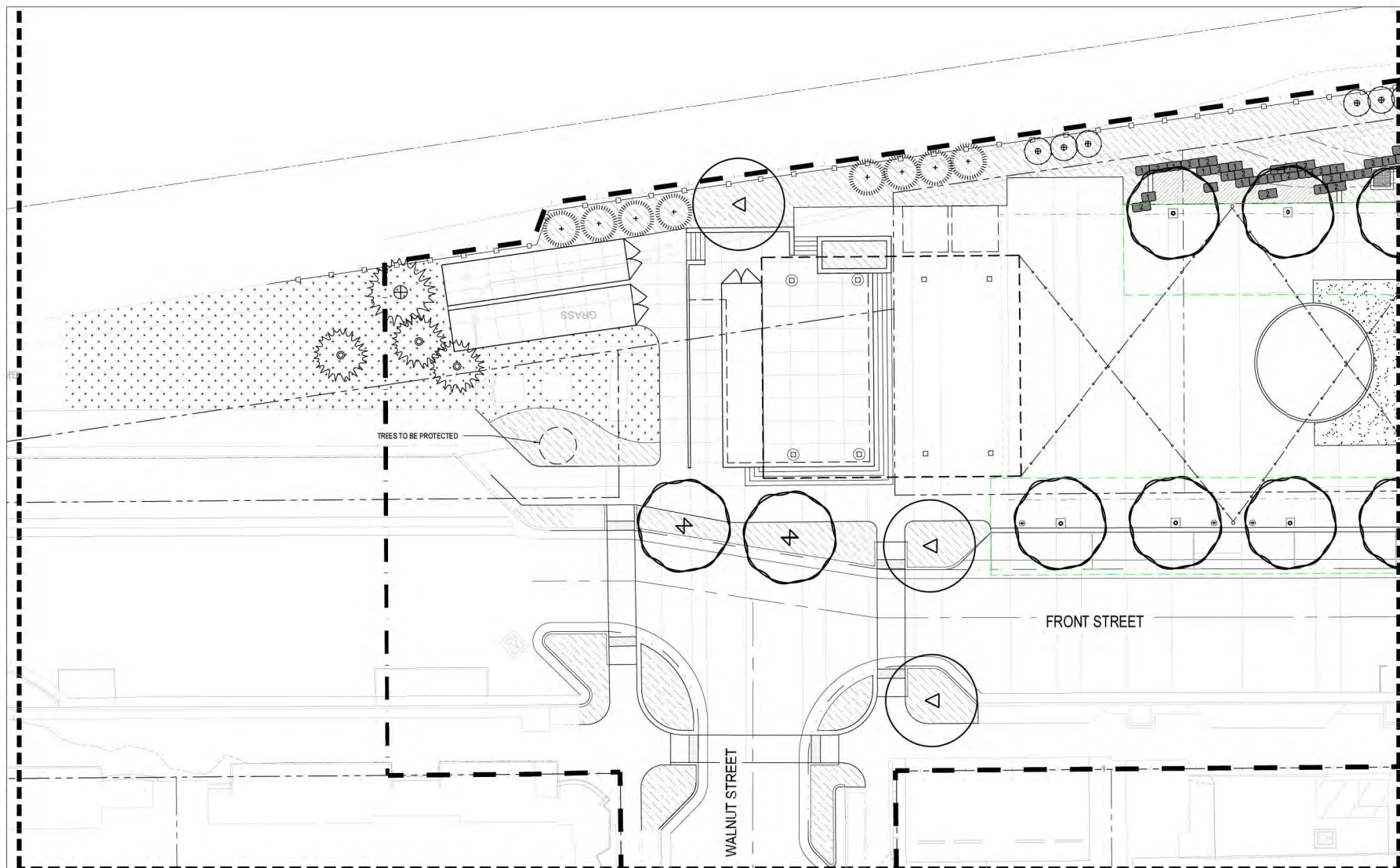
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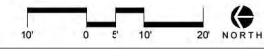
PLANTING PLAN

Sheet

LP405



SITE LEGEND:		QUANTITY	SYMBOL	BOTANIC NAME	COMMON NAME	ORNAMENTAL TREES	QUANTITY	SYMBOL	BOTANIC NAME	COMMON NAME			
	ORGANIC WOOD MULCH MIN. DEPTH: 4" (NO WEED BARRIER) TYPE:					6		ACER TATARICUM 'HOT WINGS'	HOT WINGS TATARIAN MAPLE	5		PICEA PUNGENS 'FASTIGIATA'	COLUMNAR COLORADO SPRUCE
	COBBLE MULCH COLOR: XXX SIZE RANGE: XX-XX	6		CATALPA SPECIOSA	NORTHERN CATALPA					5		PICEA PUNGENS 'BABY BLUE EYES'	BABY BLUE EYES SPRUCE
	IRRIGATED SOD (3 TYPE BLUEGRASS HYBRID BLEND W/ 20% TEXAS BLUEGRASS)	11		GLEDISIA TRIACANTHOS INERMIS 'SKYCOLE'	SKYLINE HONEYLOCUST	EVERGREEN TREES				11		JUNIPERUS SCOPULORUM 'COLOGREEN'	COLORGREEN JUNIPER
	NATIVE SEED RE: SCHEDULE	3		ULMUS 'ACCOLADE'	ACCOLADE ELM					15		PICEA ABIES 'CUPRESSINA'	COLUMNAR NORWAY SPRUCE



LOUISVILLE  
FRONT & CENTER



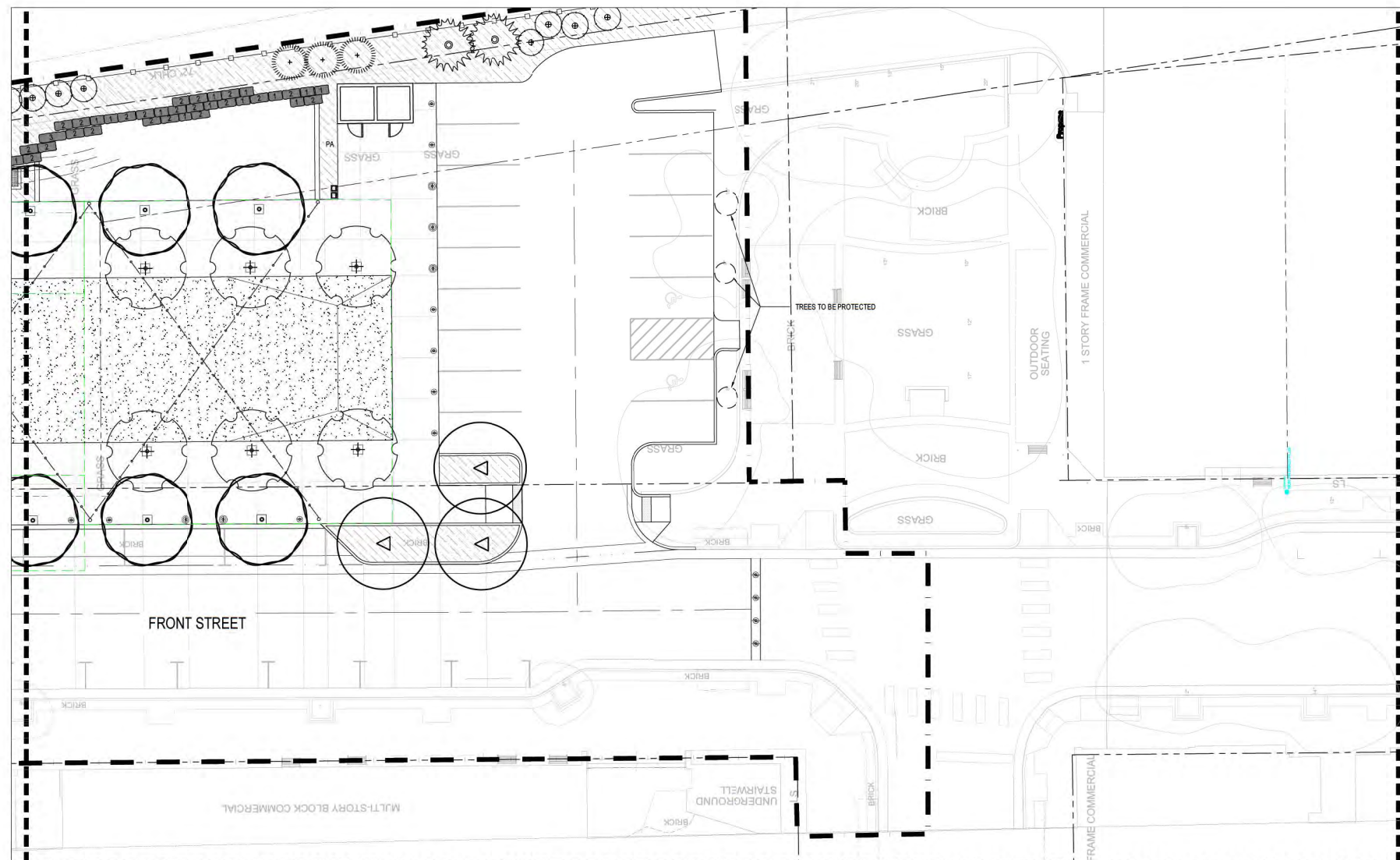
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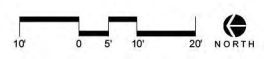
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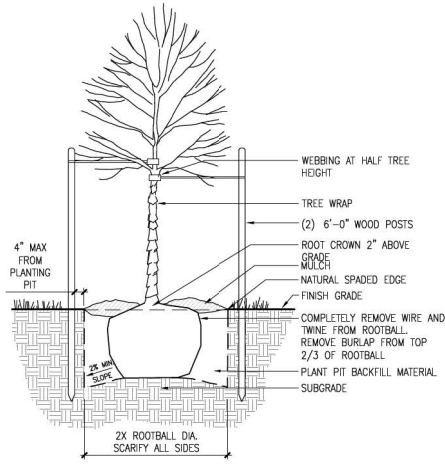
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Sheet  
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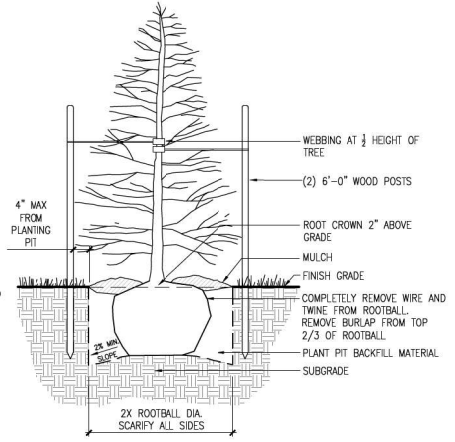


SITE LEGEND:		QUANTITY	SYMBOL	BOTANIC NAME	COMMON NAME	ORNAMENTAL TREES	QUANTITY	SYMBOL	BOTANIC NAME	COMMON NAME
ORGANIC WOOD MULCH MIN. DEPTH: 4" (NO WEED BARRIER) TYPE:							5		PICEA PUNGENS 'FASTIGIATA'	COLUMNAR COLORADO SPRUCE
COBBLE MULCH COLOR: XXX SIZE RANGE: XX-XX		6		CATALPA SPECIOSA	NORTHERN CATALPA	DECIDUOUS TREES	5		PICEA PUNGENS 'BABY BLUE EYES'	BABY BLUE EYES SPRUCE
IRRIGATED SOD (3 TYPE BLUEGRASS HYBRID BLEND W/ 20% TEXAS BLUEGRASS)		11		GLEDISIA TRIACANTHOS INERMIS 'SKYCOLE'	SKYLINE HONEYLOCUST	EVERGREEN TREES	11		JUNIPERUS SCOPULORUM 'COLOGREEN'	COLORGREEN JUNIPER
NATIVE SEED RE: SCHEDULE		3		ULMUS 'ACCOLADE'	ACCOLADE ELM	ORNAMENTAL TREES	15		PICEA ABIES 'CUPRESSINA'	COLUMNAR NORWAY SPRUCE
EDGER (8" HT. / 7 GAUGE MIN)										

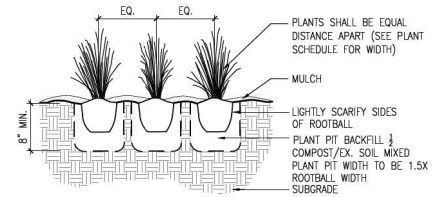




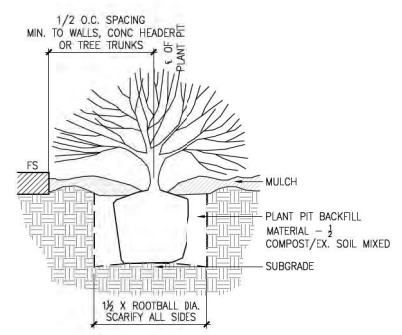
**A** DECIDUOUS TREE PLANTING  
SCALE: NTS DT-PLNT-TREE-DEC



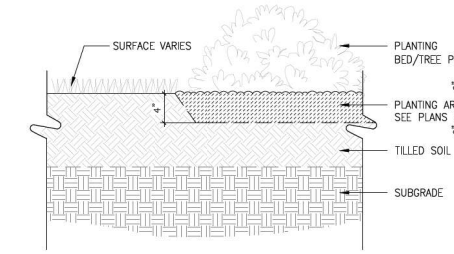
**B** EVERGREEN TREE PLANTING  
SCALE: NTS DT-PLNT-TREE-EVER



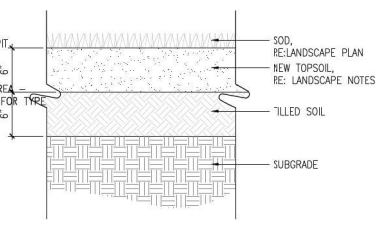
**C** ORNAMENTAL GRASS / PERENNIAL  
SCALE: 1"=1'-0" DT-PLNT-PERN-ORNA



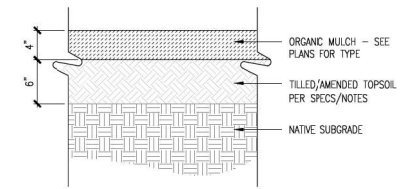
**D** SHRUB PLANTING  
SCALE: NTS DT-PLNT-SHRB



**E** NATURAL EDGE  
SCALE: 1 1/2" = 1'-0"



**F** SOD PLANTING  
SCALE: 1 1/2" = 1'-0"



**G** ORGANIC MULCH  
SCALE: 1 1/2" = 1'-0" DT-PLNT-MULCH

NOTES:  
1. DO NOT INSTALL LANDSCAPE FABRIC UNDER MULCH.



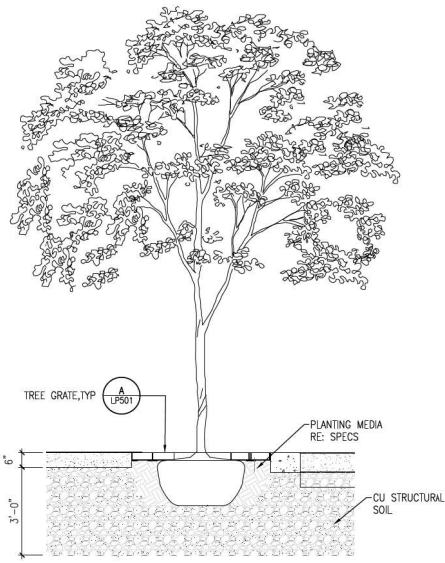
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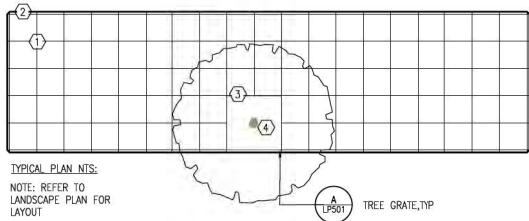
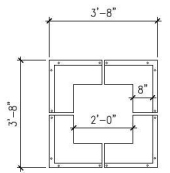
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LANDSCAPE DETAILS

Sheet  
LP501



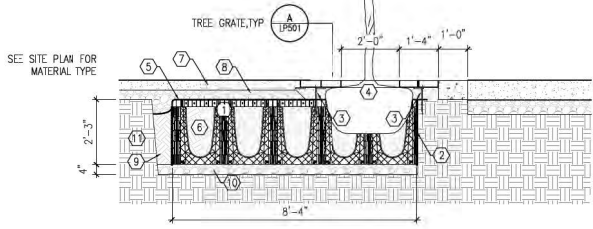
NOTE: REFER TO LANDSCAPE PLAN FOR LAYOUT & EXTENTS

CU STRUCTURAL SOIL  
SCALE: 1/2"=1'-0"



TYPICAL PLAN NTS:  
NOTE: REFER TO LANDSCAPE PLAN FOR LAYOUT

ARBORSYSTEM  
SCALE: 1/2"=1'-0"



SECTION:  
NOTES:  
SYSTEM : ROOTSPACE 600 SOIL CELL SYSTEM  
SYSTEM DEPTH: 27"  
SOIL VOLUME: ~ 600 CUBIC FEET  
SOIL DEPTH: 24"

**ARBORSYSTEM® URBAN TREE PLANTING SYSTEM**

1. RootSpace® 600 Series Soil Cell System (24" depth)
2. RootStop® 600 Root & Moisture Barrier (24" depth)
3. ReRoot® 300 Ribbed Root Barrier (12" depth)
4. Tree / Rootball
5. CombiGrid® Geocomposite Fabric/Grid
6. Planting Soil
7. Pavement
8. Aggregate Base
9. Compacted Backfill Material
10. Aggregate Sub-base
11. Compacted Native Subgrade



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LANDSCAPE DETAILS

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LP502

**GENERAL DESCRIPTION**

A FULLY AUTOMATED SPRINKLER, BUBBLER, AND DRIP IRRIGATION SYSTEM IRRIGATES TURF, TREES, PLANTING BEDS, AND PLANTER POTS. TURF IS IRRIGATED WITH POP-UP SPRINKLERS. TREES ARE IRRIGATED WITH BUBBLERS. PLANTING BEDS AND PLANTER POTS ARE DRIP IRRIGATED ON SEPARATE ZONES.

MUNICIPAL (POTABLE) WATER IS USED FOR IRRIGATION. THE POINT-OF-CONNECTIONS (P.O.C.) ARE SHOWN ON THE PLANS IMMEDIATELY DOWNSTREAM OF THE IRRIGATION WATER METER INSTALLED BY OTHERS.

STAND ALONE, PEDESTAL MOUNTED IRRIGATION CONTROLLERS MUST BE INSTALLED.

A RAIN SENSOR WILL BE USED TO PAUSE IRRIGATION AT A SPECIFIED RAINFALL THRESHOLD.

ISOLATION GATE VALVES PERMIT THE ISOLATION OF SECTIONS OF THE SYSTEM FOR REPAIRS OR MAINTENANCE. QUICK COUPLING VALVES HAVE BEEN PROVIDED TO AID IN WINTERIZATION OF THE IRRIGATION SYSTEM.

**GENERAL NOTES**

1. THE SYSTEM DESIGN ASSUMES A MINIMUM STATIC PRESSURE AND MINIMUM DISCHARGE FOR THE IRRIGATION SYSTEMS AS SHOWN ON THE PLANS FOR EACH POINT-OF-CONNECTION (P.O.C.). THE CONTRACTOR MUST VERIFY PRESSURE AND FLOW ON SITE PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES WITH THE ASSUMPTIONS.
2. READ THOROUGHLY AND BECOME FAMILIAR WITH THE SPECIFICATIONS AND INSTALLATION DETAILS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
3. COORDINATE UTILITY LOCATES ("CALL BEFORE YOU DIG") OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
4. DO NOT PROCEED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING, OR IF DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND, NOTES, OR SPECIFICATIONS ARE DISCOVERED. BRING ALL SUCH OBSTRUCTIONS OR DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
5. THE DRAWINGS ARE DIAGRAMMATIC. THEREFORE, THE FOLLOWING SHOULD BE NOTED:
  - A. IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE PLANTING AREAS FOR CLARITY. AVOID CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING MATERIALS, AND ARCHITECTURAL FEATURES. INSTALL IRRIGATION PIPE AND WIRING IN LANDSCAPED AREAS WHENEVER POSSIBLE.
  - B. USE ONLY STANDARD TEES AND ELBOW FITTINGS. USE OF CROSS TYPE FITTINGS IS NOT PERMITTED.
6. PROVIDE THE FOLLOWING COMPONENTS TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT:
  - A. TWO OPERATING KEYS FOR EACH TYPE OF MANUALLY OPERATED VALVE.
  - B. TWO OF EACH SERVICING WRENCH OR TOOL NEEDED FOR COMPLETE ACCESS, ADJUSTMENT, AND REPAIR OF ALL ROTARY SPRINKLERS.
7. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF IRRIGATION SLEEVING. SLEEVES ARE TO BE INSTALLED FOR BOTH PIPING AND ELECTRICAL WIRING AT EACH HARDSCAPE CROSSING. COORDINATE INSTALLATION OF SLEEVING WITH OTHER TRADES. ANY PIPE OR WIRE WHICH PASSES BENEATH EXISTING HARDSCAPE WHERE SLEEVING WAS NOT INSTALLED REQUIRES HORIZONTAL BORING BY THE IRRIGATION CONTRACTOR.
8. CONNECT ELECTRICAL POWER TO THE IRRIGATION CONTROL SYSTEM IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL ELECTRIC UTILITY CODES.
9. WITH REGARD TO PIPE SIZING, THE FOLLOWING SHOULD BE NOTED:
  - A. IF A SECTION OF UNSIZED PIPE IS LOCATED BETWEEN TWO IDENTICALLY SIZED SECTIONS, THE UNSIZED PIPE IS THE SAME NOMINAL SIZE AS THE TWO SIZED SECTIONS. THE UNSIZED PIPE SHOULD NOT BE CONFUSED WITH THE DEFAULT PIPE SIZE NOTED IN THE LEGEND.

**LEGEND**

- SLEEVING
  - \*TYPE: CLASS 200 PVC
  - \*SIZE: 2X PIPE SIZE, IRRIGATION WIRING SLEEVE 4-INCH MINIMUM
- MAINLINE PIPE
  - \*TYPE: CLASS 200 PVC
  - \*SIZE: AS SHOWN
- - - LATERAL PIPE TO TREES
  - \*1" CLASS 160 PVC
- LATERAL PIPE TO PLANTER POTS
  - \*UV RADIATION RESISTANT POLYETHYLENE
  - \*3/4-INCH SIZE, UNLESS OTHERWISE NOTED
- - - MAINFOLD PIPE TO ZONE CONTROL VALVES
  - \*1" CLASS 160 PVC
- ~ DRIP LATERAL PIPE
  - \*UV RADIATION RESISTANT POLYETHYLENE
  - \*3/4-INCH SIZE, UNLESS OTHERWISE NOTED
  - \*EMITTER TYPE: RAIN BIRD XERI-BUG
- ✂ UNCONNECTED PIPE CROSSING
- POINT-OF-CONNECTION (P.O.C.)
  - \*WINTERIZATION ASSEMBLY
  - \*REFER TO DETAIL
- ⊕ BACKFLOW PREVENTION ASSEMBLY
  - \*MODEL: FEBCO 825YA
  - \*SIZE: MATCH POC SIZE INDICATED ON PLANS
  - \*ENCLOSURE: VIT STRONG BOX SBBC SERIES (SIZED AS REQUIRED)
- ⊞ MASTER VALVE ASSEMBLY
  - \*MODEL: HUNTER ICV
  - \*SIZE: 1-INCH
  - \*WIRE DIRECTLY TO CONTROLLER PER MANUFACTURER'S GUIDELINES
- ⊞ FLOW SENSOR ASSEMBLY
  - \*MODEL: FLOMEC QS200
  - \*SIZE: 1-INCH
  - \*WIRE DIRECTLY TO CONTROLLER PER MANUFACTURER'S GUIDELINES
- ⊞ ISOLATION GATE VALVE ASSEMBLY
  - \*MODEL: NIBCO T-113K
  - \*SIZE: TO MATCH MAINLINE SIZE
- ⊞ QUICK COUPLING VALVE ASSEMBLY
  - \*MODEL: HUNTER 5-LRC
- ⊞ REMOTE CONTROL VALVE ASSEMBLY
  - \*MODEL: HUNTER ICV
  - \*SIZE: AS SHOWN ON PLANS
- ⊞ DRIP REMOTE CONTROL VALVE ASSEMBLY
  - \*MODEL: HUNTER IC2-101-40-LF
  - \*SIZE: 1-INCH
- ⊞ ZONE CONTROL VALVE ASSEMBLY
  - \*BALL VALVE; SPEARS PVC COMPACT
- ⊞ FLUSH CAP ASSEMBLY
  - \*SIZE: HUNTER OR EQUAL
- ⊞ PLANTER POT IRRIGATION
  - \*REFER TO DETAIL
- ⊞ TREE IRRIGATION
  - \*HUNTER ROOT WATERING SYSTEM RZWS-18-25-CV
  - \*0.25 GPM PER RWS, TWO (2) RWS PER TREE, 0.5 GPM TOTAL PER TREE

**FLAG NOTES**

- ①

POP-UP SPRINKLER: HUNTER PRO-SPRAY PRS30-CV WITH PRO-FIXE<sup>®</sup>

NOZZLES:					
▲▲▲	RADIUS: 5'	FLOW (GPM):	Q-0.10	H-0.20	F-0.41
▲▲	RADIUS: 8'	FLOW (GPM):	Q-0.26	H-0.52	F-1.05
▲▲▲	RADIUS: 10'	FLOW (GPM):	Q-0.39	H-0.79	F-1.58
▲▲▲	RADIUS: 12'	FLOW (GPM):	Q-0.65	H-1.30	F-2.60
▲▲▲	RADIUS: 15'	FLOW (GPM):	Q-0.92	H-1.85	F-3.70

IRRIGATION CONTROLLER ASSEMBLY  
 CONTROLLER: TORO DX1  
 \*PEDESTAL MOUNTED  
 \*CONVENTIONAL WIRING  
 \*CELL COMMUNICATIONS TO CENTRAL CONTROL  
 \*CONTACT BRADON GULLY WITH CPS DISTRIBUTORS FOR ORDERING

⊞ CONTROLLER AND CONTROLLER STATION NUMBER  
 \*LATERAL DISCHARGE IN GPM  
 \*REMOTE CONTROL VALVE SIZE IN INCHES  
 \*SB-SHRUB BEDS, P-PLANTER POTS, T-TURF, TR-TREES

VALVE BOXES: RAIN BIRD VB SERIES WITH GREEN LIDS

UNDER  
DEVELOPMENT

LOUISVILLE  
FRONT & CENTER



REV.	COMMENT	DATE

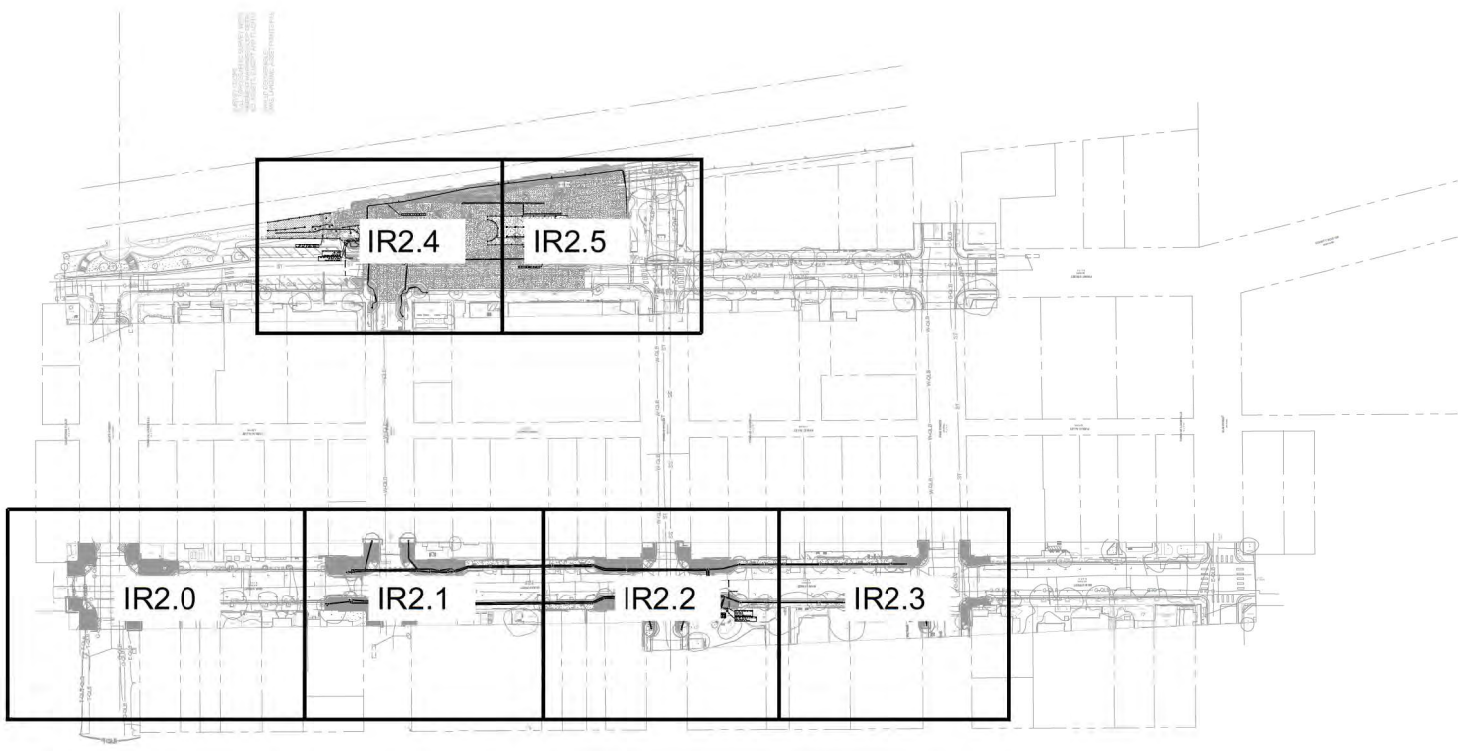
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CONSTRUCTION  
DOCUMENTS

Date: 12.01.2025  
 Drawn By: JHK  
 Checked By: RMB  
 Sheet Name  
 IRRIGATION COVER SHEET

Sheet  
IR1.0



LOUISVILLE  
FRONT & CENTER



1 KEY MAP



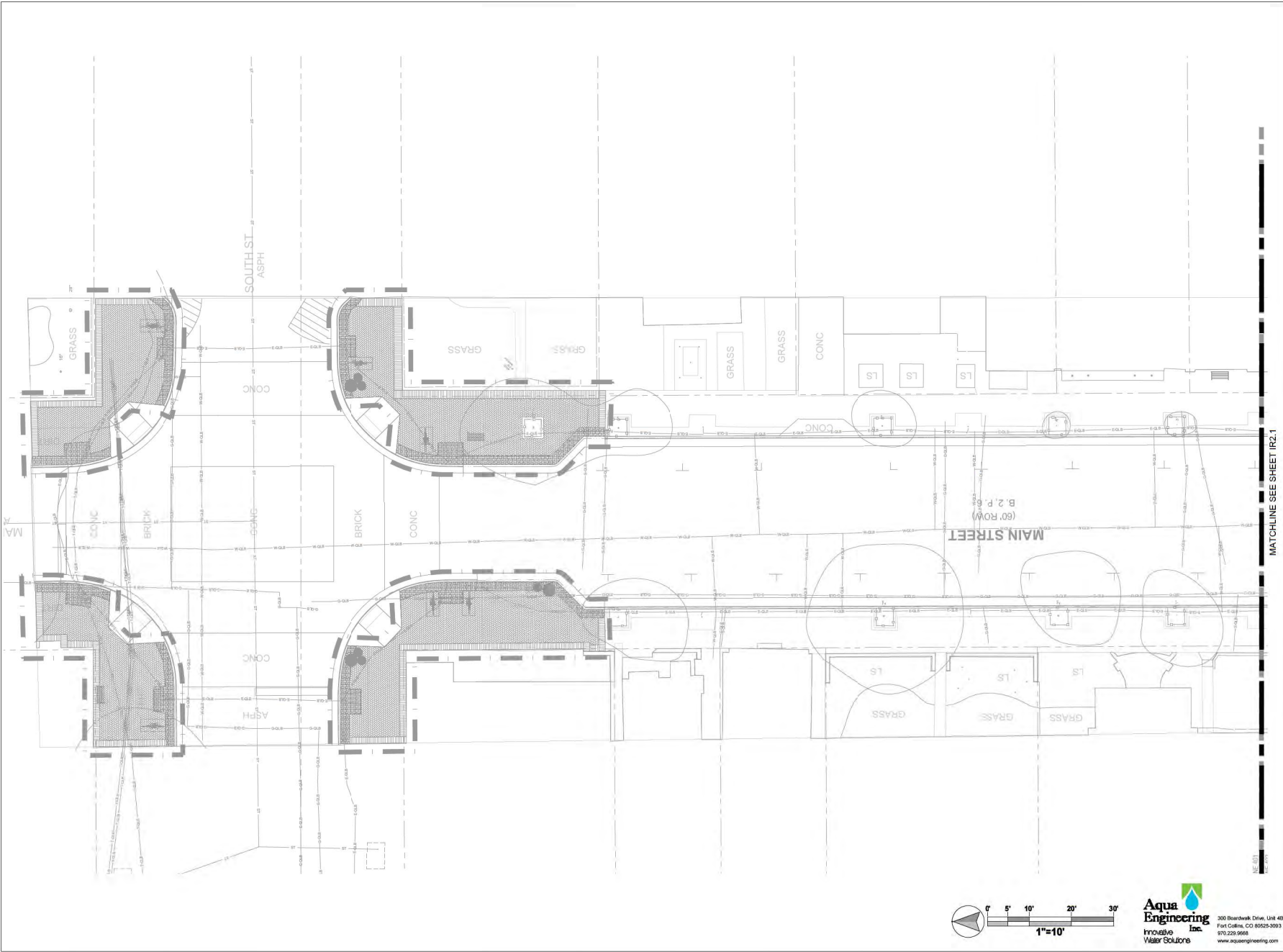
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DOCUMENTS

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Sheet Name  
IRRIGATION KEYMAP

Sheet  
IR1.1



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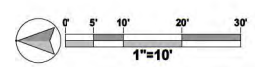


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Sheet  
 IR2.0



MATCHLINE SEE SHEET IR2.1

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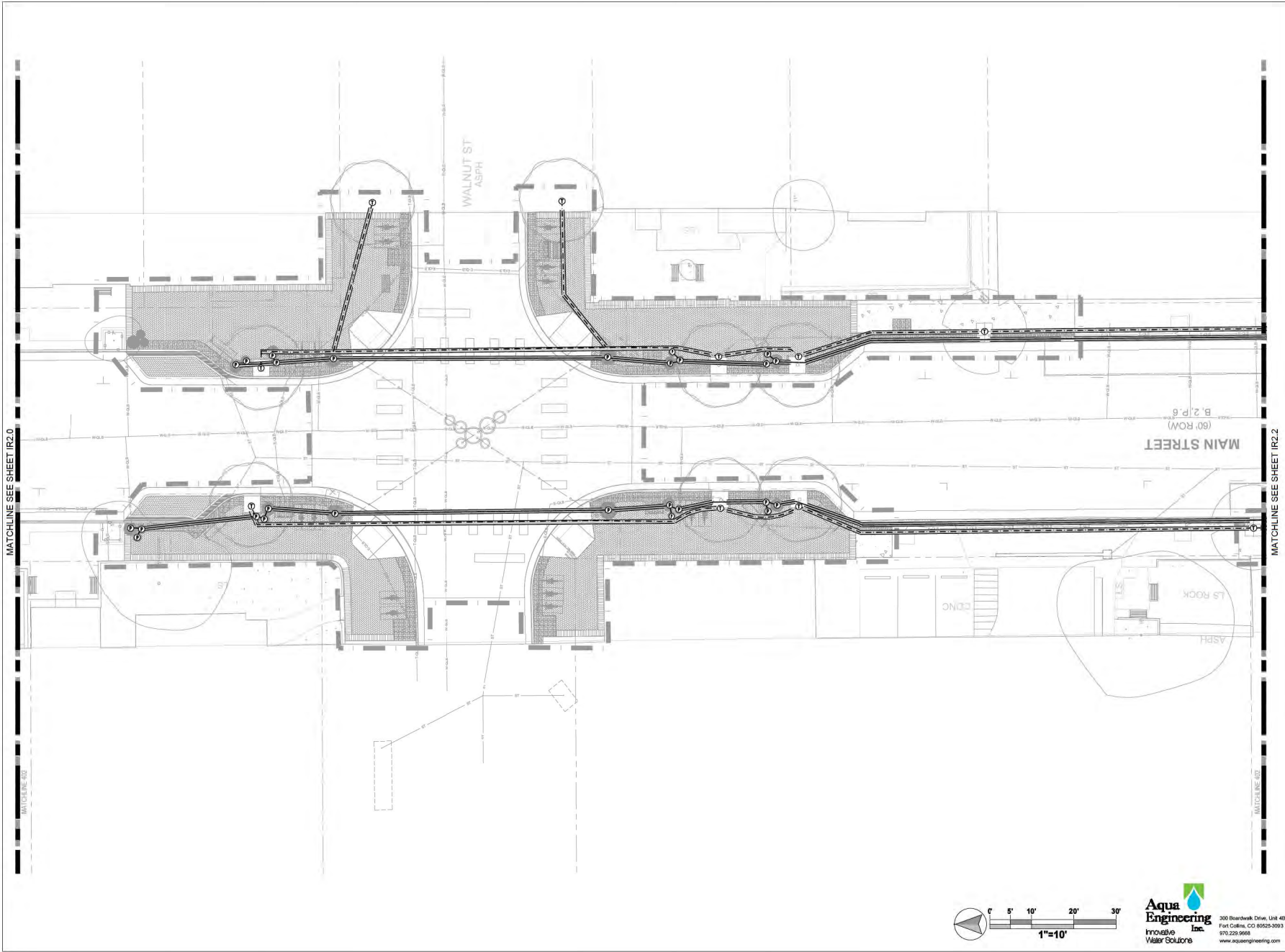
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Sheet Name  
 IRRIGATION PLAN

Sheet  
 IR2.1



**Aqua Engineering Inc.**  
 Innovative Water Solutions  
 300 Boardwalk Drive, Unit 403  
 Fort Collins, CO 80525-3993  
 970.229.9666  
 www.aquaengineering.com

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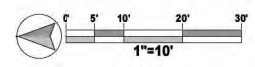
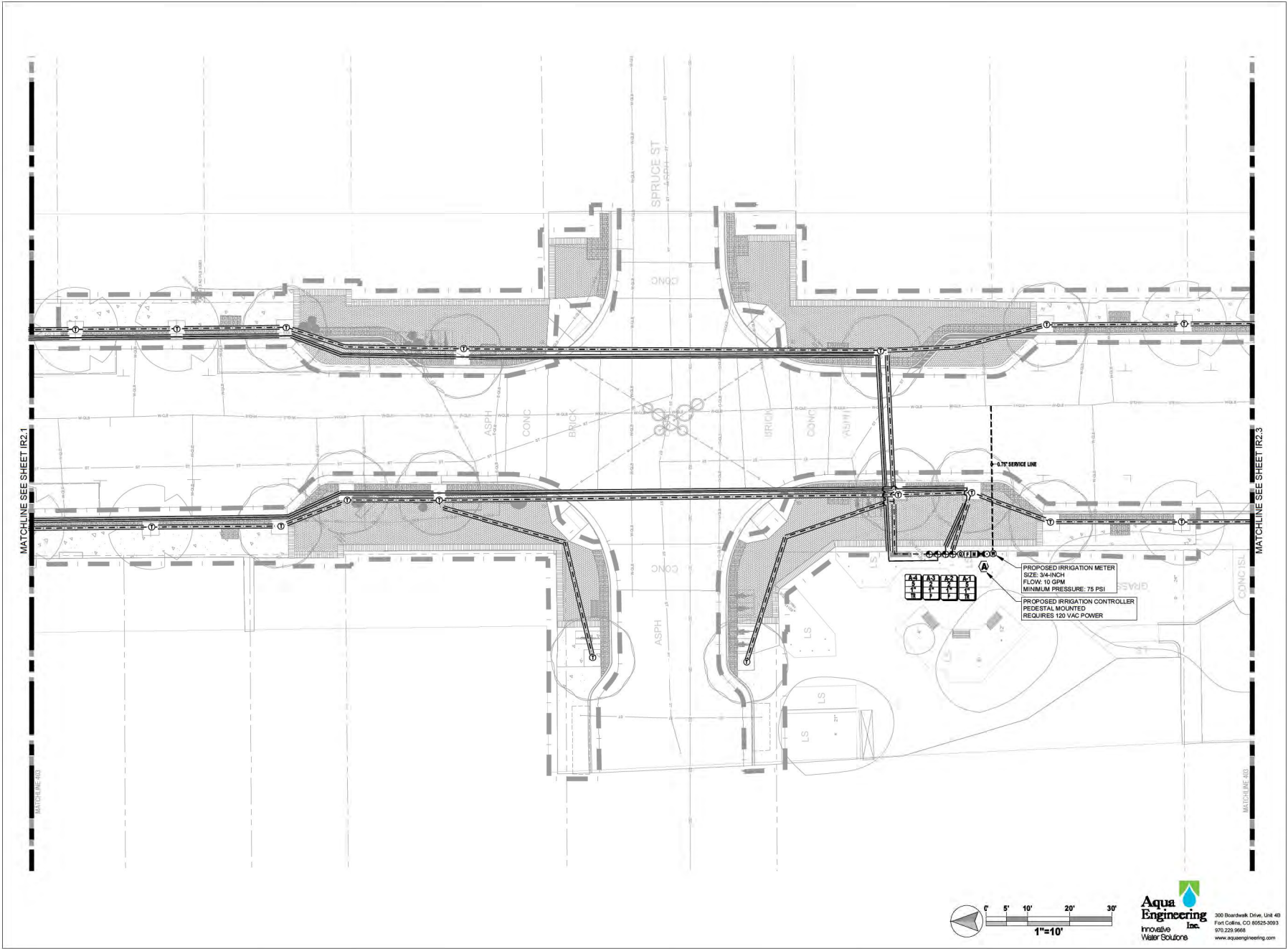
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Sheet  
IR2.2



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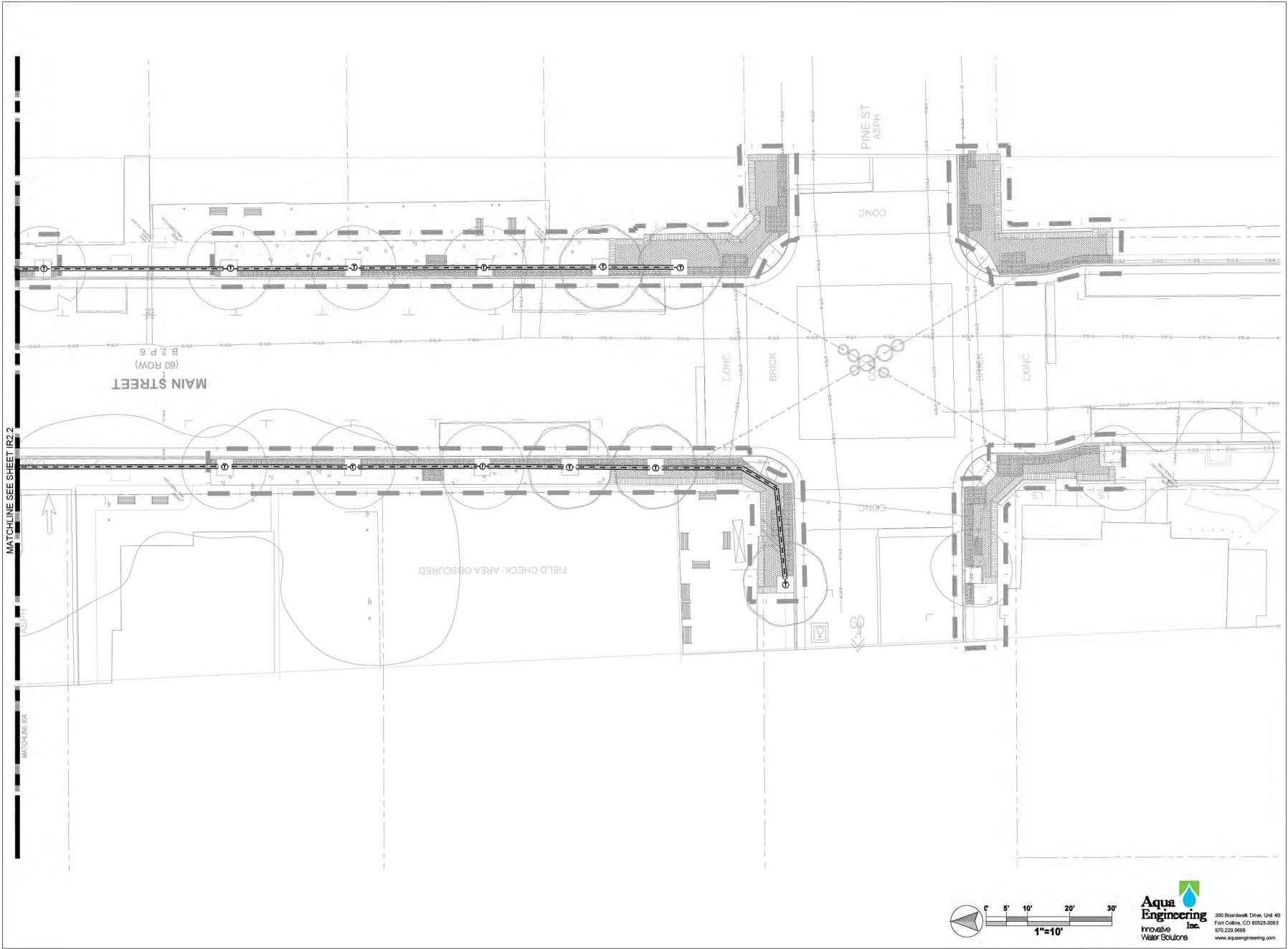
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Sheet Name  
 IRRIGATION PLAN

Sheet  
 IR2.3



A scale bar at the bottom left shows increments of 0, 5, 10, 20, and 30 feet, with a scale of 1"=10'. To the right is the logo for Aqua Engineering Inc., featuring a blue water drop icon. The company name 'Aqua Engineering Inc.' is written in a stylized font, with 'Innovative Water Solutions' in smaller text below it. The company's address and contact information are listed: 300 Boardwalk Drive, Unit 403, Fort Collins, CO 80525-3993, 970.229.6666, and www.aquaengineering.com.

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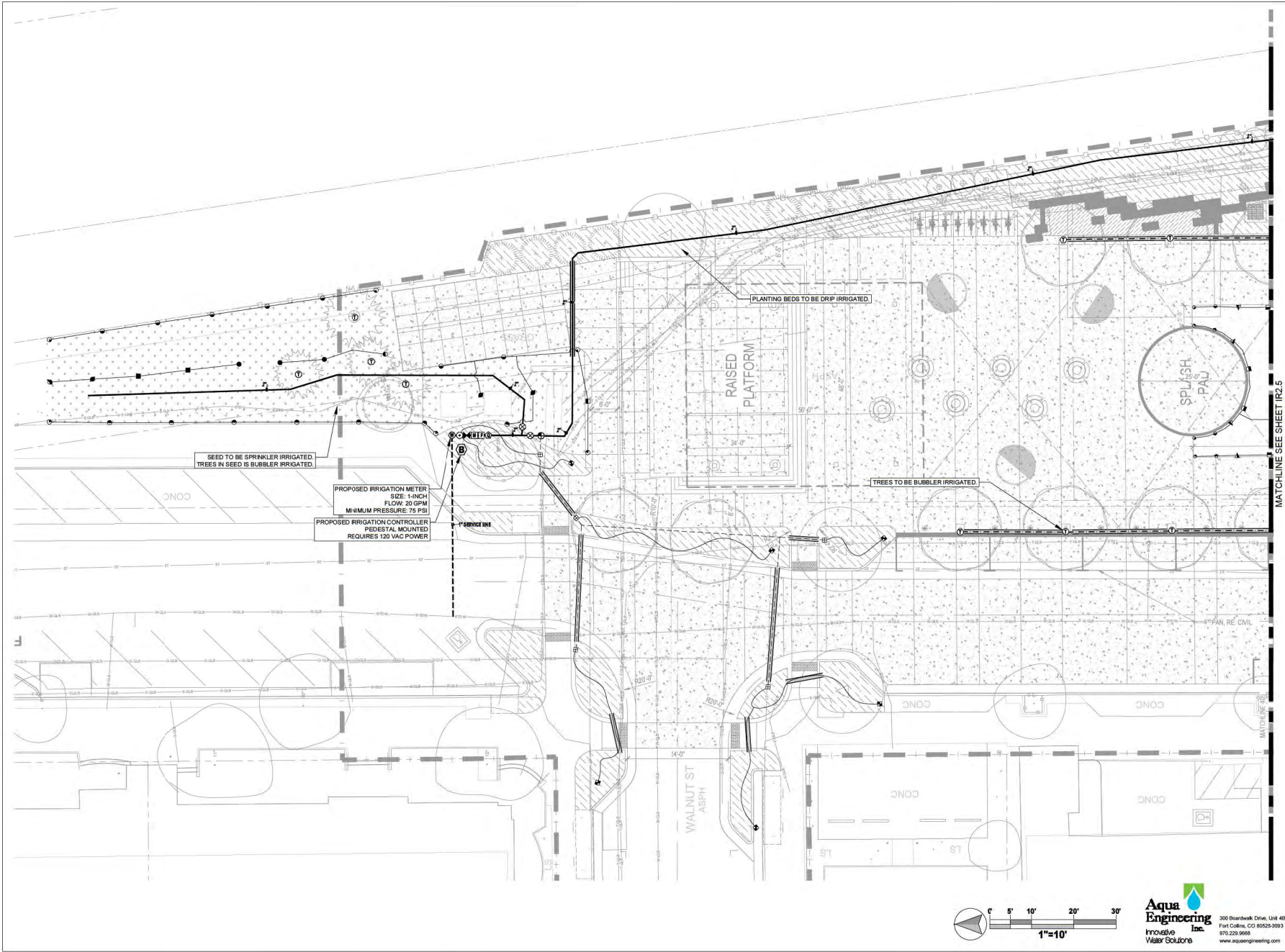


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 IRRIGATION PLAN

Sheet  
 IR2.4



MATCHLINE SEE SHEET IR2.5

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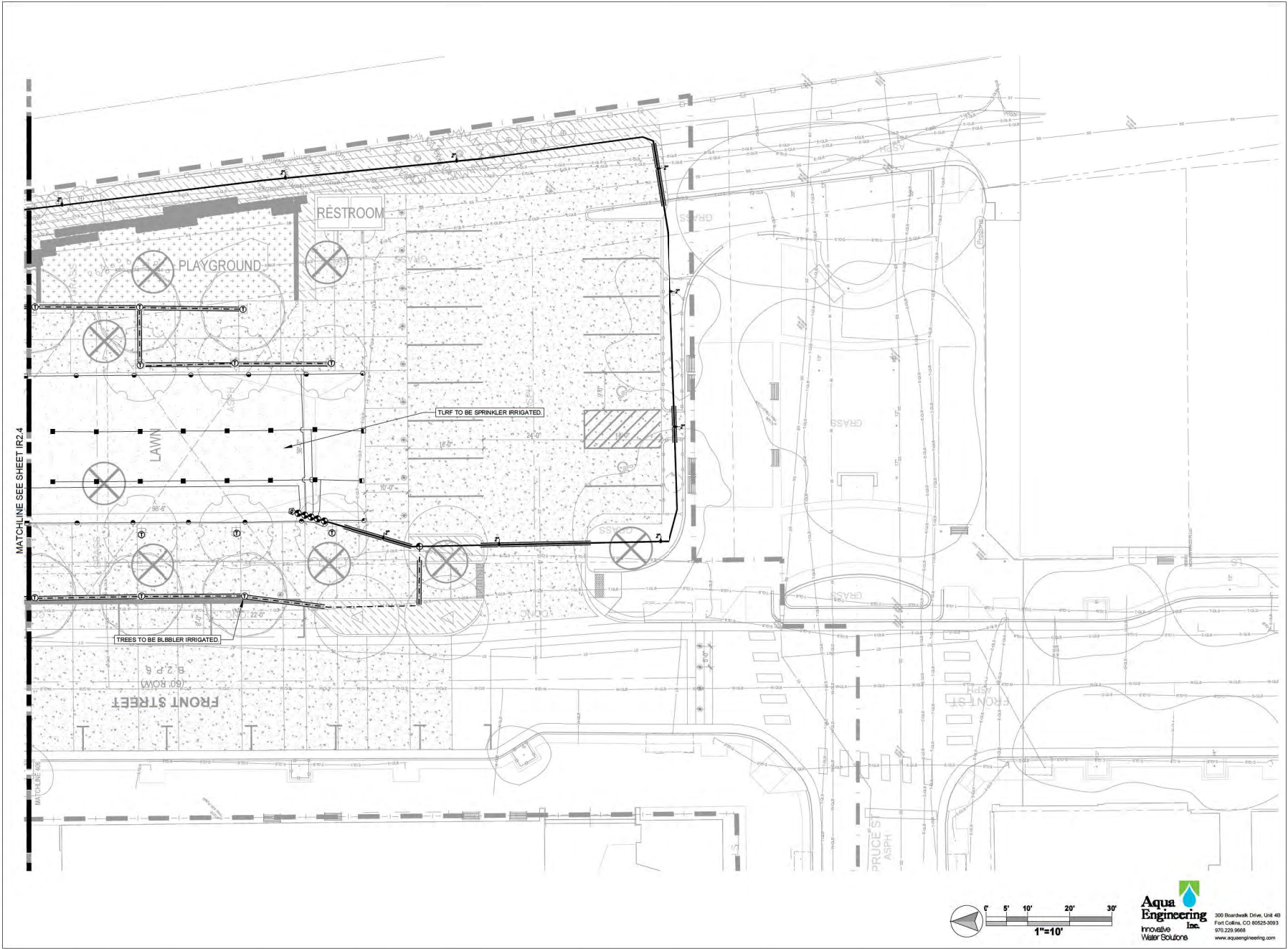
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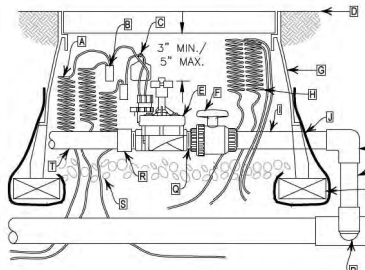
Sheet Name  
IRRIGATION PLAN

Sheet  
IR2.5



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Innovative Water Solutions  
300 Boardwalk Drive, Unit 4B  
Fort Collins, CO 80525-3993  
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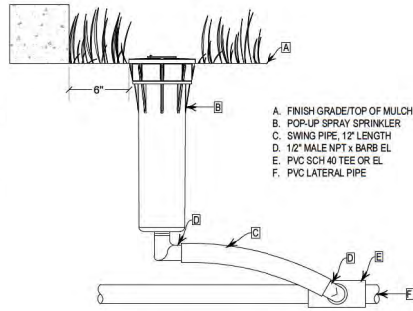




- A. 30' LENGTH OF COILED WIRE
- B. WATERPROOF CONNECTION (1 OF 2)
- C. CHRISTY ID TAG
- D. FINISH GRADE
- E. REMOTE CONTROL VALVE (SIZED AS SHOWN ON DRAWINGS)
- F. PVC BALL VALVE
- G. 12" STANDARD VALVE BOX WITH COVER
- H. SPARE WIRE
- I. PVC SCH 80 TOE NIPPLE (LENGTH AS REQUIRED)
- J. FILTER FABRIC
- K. PVC SCH 40 EL
- L. PVC SCH 40 PIPE (LENGTH AS REQUIRED)
- M. BRICK (1 OF 4)
- N. TEE OR EL. SEE SPECIFICATIONS FOR MATERIALS
- O. PVC MAINLINE
- P. PVC SCH 80 TOE NIPPLE (LENGTH AS REQUIRED, HIDDEN) AND PVC SCH 40 EL
- Q. PVC SCH 80 CLOSE NIPPLE
- R. PVC SCH 40 MALE ADAPTER
- S. 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL
- T. PVC LATERAL PIPE

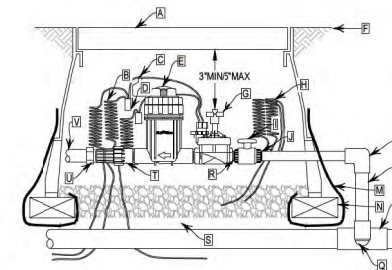
NOTES:  
 1. USE VALVE BOX EXTENSION AS NECESSARY TO ACHIEVE MINIMUM DIMENSIONS ABOVE ASSEMBLY.  
 2. NOMINAL SIZE OF ALL COMPONENTS ARE TO BE THE SAME NOMINAL SIZE AS THE SOLENOID VALVE (SIZED AS SHOWN).  
 3. INSTALL FILTER FABRIC AROUND EXTERIOR OF VALVE BOX. USE DUCT TAPE TO SECURE FABRIC TO PIPE AND VALVE BOX.  
 4. TRANSITION TO PROPER LATERAL PIPE BURIAL DEPTH USING 45° ELBOW FITTINGS DOWNSTREAM OF REMOTE CONTROL VALVE ASSEMBLY.  
 5. DO NOT CUT OUT ENDS OF VALVE BOX UNNECESSARILY.  
 6. POSITION VALVE BOX OVER VALVE TO ALLOW ACCESS TO SOLENOID AND PROPER OPERATION OF BALL VALVE.

**1** REMOTE CONTROL VALVE ASSEMBLY N.T.S.



- A. FINISH GRADE/TOP OF MULCH
- B. POP-UP SPRAY SPRINKLER
- C. SWING PIPE, 12" LENGTH
- D. 1/2" MALE NPT x BARB EL
- E. PVC SCH 40 TEE OR EL
- F. PVC LATERAL PIPE

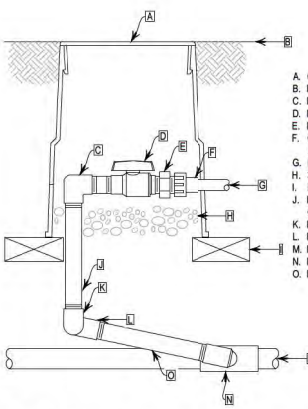
**2** POP-UP SPRAY SPRINKLER ASSEMBLY N.T.S.



- A. JUMBO VALVE BOX WITH COVER
- B. 30' LENGTH OF COILED WIRE
- C. CHRISTY ID TAG
- D. WATERPROOF CONNECTION (1 OF 2)
- E. FILTRATION DEVICE
- F. FINISH GRADE/TOP OF MULCH
- G. REMOTE CONTROL VALVE
- H. SPARE WIRE
- I. PVC BALL VALVE
- J. PVC SCH 80 TOE NIPPLE (LENGTH AS REQUIRED)
- K. PVC SCH 40 EL
- L. PVC SCH 40 PIPE (LENGTH AS REQUIRED)
- M. FILTER FABRIC
- N. BRICK (1 OF 4)
- O. TEE OR EL. SEE SPECIFICATIONS FOR MATERIALS
- P. PVC MAINLINE
- Q. PVC SCH 80 TOE NIPPLE (LENGTH AS REQUIRED, HIDDEN) AND PVC SCH 40 EL
- R. PVC SCH 80 CLOSE NIPPLE
- S. 3" MINIMUM DEPTH OF WASHED PEA GRAVEL
- T. PRESSURE REGULATING DEVICE
- U. PVC SCH 40 MALE ADAPTER
- V. PVC MANIFOLD PIPE

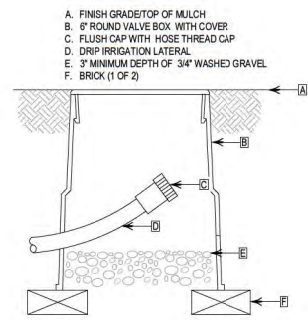
NOTES:  
 1. USE VALVE BOX EXTENSION AS NECESSARY TO ACHIEVE MINIMUM DIMENSIONS ABOVE ASSEMBLY.  
 2. NOMINAL SIZE OF ALL COMPONENTS ARE TO BE THE SAME NOMINAL SIZE AS THE SOLENOID VALVE (SIZED AS SHOWN).  
 3. INSTALL FILTER FABRIC AROUND EXTERIOR OF VALVE BOX. USE DUCT TAPE TO SECURE FABRIC TO PIPE AND VALVE BOX.  
 4. TRANSITION TO PROPER LATERAL PIPE BURIAL DEPTH USING 45° ELBOW FITTINGS DOWNSTREAM OF REMOTE CONTROL VALVE ASSEMBLY.  
 5. DO NOT CUT OUT ENDS OF VALVE BOX UNNECESSARILY.  
 6. POSITION VALVE BOX OVER VALVE TO ALLOW ACCESS TO SOLENOID AND PROPER OPERATION OF BALL VALVE.

**3** DRIP REMOTE CONTROL VALVE ASSEMBLY N.T.S.



- A. 6" ROUND VALVE BOX WITH COVER
- B. FINISH GRADE/TOP OF MULCH
- C. PVC SCH. 40 EL
- D. PVC BALL VALVE
- E. PVC SCH. 40 TRANSITION NIPPLE (MPTxMHT)
- F. COMPRESSION/FEMALE HOSE SWIVEL ADAPTER
- G. DRIP LATERAL PIPING
- H. 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL
- I. BRICK (1 OF 2)
- J. PVC SCH 80 NIPPLE (LENGTH AS REQUIRED, 1 OF 2)
- K. PVC SCH 40 EL
- L. PVC SCH 40 STREET EL (1 OF 2)
- M. PVC DRIP MANIFOLD PIPE
- N. PVC SCH 40 TEE OR EL
- O. PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)

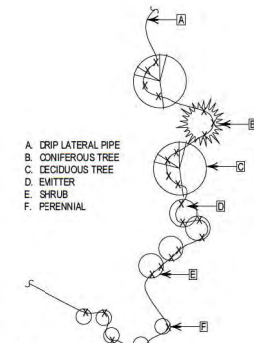
**4** ZONE CONTROL VALVE ASSEMBLY N.T.S.



- A. FINISH GRADE/TOP OF MULCH
- B. 6" ROUND VALVE BOX WITH COVER
- C. FLUSH CAP WITH HOSE THREAD CAP
- D. DRIP IRRIGATION LATERAL
- E. 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL
- F. BRICK (1 OF 2)

NOTE:  
 1. INSTALL FLUSH CAP ASSEMBLY AT THE END OF EACH DRIP LATERAL SEGMENT.

**5** FLUSH CAP ASSEMBLY N.T.S.



- A. DRIP LATERAL PIPE
- B. CONIFEROUS TREE
- C. DECIDUOUS TREE
- D. EMITTER
- E. SHRUB
- F. PERENNIAL

NOTES:  
 1. EMITTERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO PERENNIALS AND AT THE OUTSIDE PERIMETER OF THE PLANTING PIT OF ALL SHRUBS AND TREES.  
 2. INSTALL FOUR 1 GPH EMITTERS PER DECIDUOUS TREE.  
 3. INSTALL THREE 1 GPH EMITTER PER CONIFEROUS TREE.  
 4. INSTALL TWO 1 GPH EMITTER PER SHRUB.  
 5. INSTALL ONE 1 GPH EMITTER PER PERENNIAL.

**6** EMITTER PLACEMENT DETAIL N.T.S.



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CONSTRUCTION DOCUMENTS

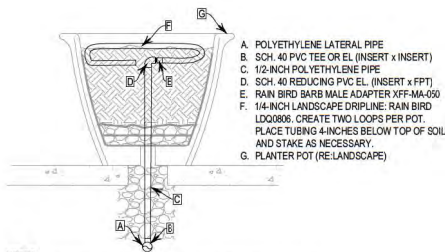
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Sheet Name  
 IRRIGATION DETAILS

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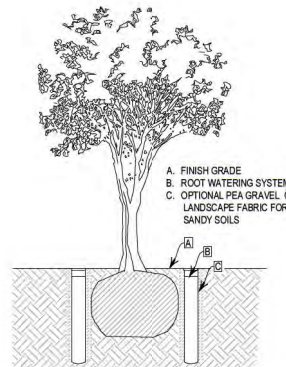
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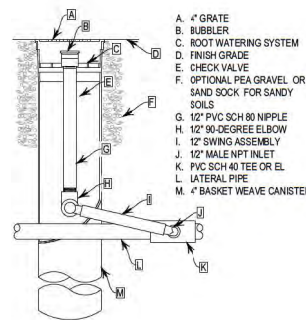
- A. POLYETHYLENE LATERAL PIPE
- B. SCH. 40 PVC TEE OR EL. (INSERT x INSERT)
- C. 1/2-INCH POLYETHYLENE PIPE
- D. SCH. 40 REDUCING PVC EL. (INSERT x FPT)
- E. RAIN BIRD BARB MALE ADAPTER XFF-MA-050
- F. 1/4-INCH LANDSCAPE DRIPLINE: RAIN BIRD LDO0808. CREATE TWO LOOPS PER POT. PLACE TUBING 4-INCHES BELOW TOP OF SOIL AND STAKE AS NECESSARY.
- G. PLANTER POT (RE-LANDSCAPE)

NOTES:  
1. SECURE INSERT/BARB FITTINGS WITH STAINLESS STEEL PINCH CLAMPS.



- A. FINISH GRADE
- B. ROOT WATERING SYSTEM
- C. OPTIONAL PEA GRAVEL OR LANDSCAPE FABRIC FOR SANDY SOILS

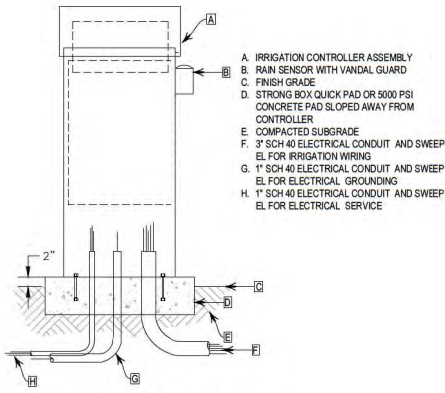
NOTES:  
1. POSITION UNITS EVENLY SPACED AROUND ROOT BALL. INSTALL PRODUCT WITH TOP EVEN WITH GROUND SURFACE.



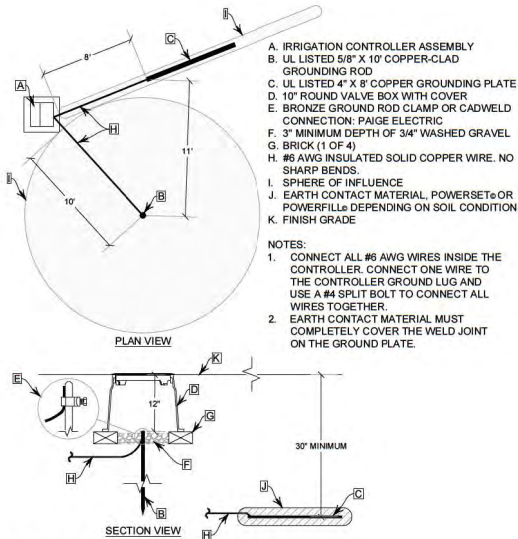
- A. 4" GRATE
- B. BUBBLER
- C. ROOT WATERING SYSTEM
- D. FINISH GRADE
- E. CHECK VALVE
- F. OPTIONAL PEA GRAVEL OR SAND SOCK FOR SANDY SOILS
- G. 1/2" PVC SCH 80 NIPPLE
- H. 1/2" 90-DEGREE ELBOW
- I. 1/2" SWING ASSEMBLY
- J. 1/2" MALE NPT INLET
- K. PVC SCH 40 TEE OR EL.
- L. LATERAL PIPE
- M. 4" BASKET WEAVE CANISTER

**1** PLANTER POT IRRIGATION DETAIL N.T.S.

**2** TREE IRRIGATION DETAIL N.T.S.

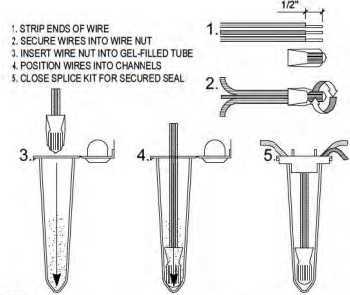


- A. IRRIGATION CONTROLLER ASSEMBLY
- B. RAIN SENSOR WITH VANDAL GUARD
- C. FINISH GRADE
- D. STRONG BOX QUICK PAD OR 5000 PSI CONCRETE PAD SLOPED AWAY FROM CONTROLLER
- E. COMPACTED SUBGRADE
- F. 3" SCH 40 ELECTRICAL CONDUIT AND SWEEP EL FOR IRRIGATION WIRING
- G. 1" SCH 40 ELECTRICAL CONDUIT AND SWEEP EL FOR ELECTRICAL GROUNDING
- H. 1" SCH 40 ELECTRICAL CONDUIT AND SWEEP EL FOR ELECTRICAL SERVICE



- A. IRRIGATION CONTROLLER ASSEMBLY
- B. UL LISTED 5/8" X 10' COPPER-CLAD GROUNDING ROD
- C. UL LISTED 4" X 8" COPPER GROUNDING PLATE
- D. 10" ROUND VALVE BOX WITH COVER
- E. BRONZE GROUND ROD CLAMP OR CADWELD CONNECTION: PAIGE ELECTRIC
- F. 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL BRICK (1 OF 4)
- H. #6 AWG INSULATED SOLID COPPER WIRE. NO SHARP BENDS.
- I. SPHERE OF INFLUENCE
- J. EARTH CONTACT MATERIAL, POWERSET<sub>6</sub> OR POWERLILLS DEPENDING ON SOIL CONDITIONS
- K. FINISH GRADE

NOTES:  
1. CONNECT ALL #6 AWG WIRES INSIDE THE CONTROLLER. CONNECT ONE WIRE TO THE CONTROLLER GROUND LUG AND USE A #4 SPLIT BOLT TO CONNECT ALL WIRES TOGETHER.  
2. EARTH CONTACT MATERIAL MUST COMPLETELY COVER THE WELD JOINT ON THE GROUND PLATE.



1. STRIP ENDS OF WIRE
2. SECURE WIRES INTO WIRE NUT
3. INSERT WIRE NUT INTO GEL-FILLED TUBE
4. POSITION WIRES INTO CHANNELS
5. CLOSE SPLICE KIT FOR SECURED SEAL

NOTE:  
1. VISUALLY CHECK THAT CONNECTOR IS BELOW LOCKING "FINGERS".

**3** IRRIGATION CONTROLLER ASSEMBLY N.T.S.

**4** CONTROLLER GROUNDING DETAIL N.T.S.

**5** WIRE SPLICE DETAIL N.T.S.



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DOCUMENTS

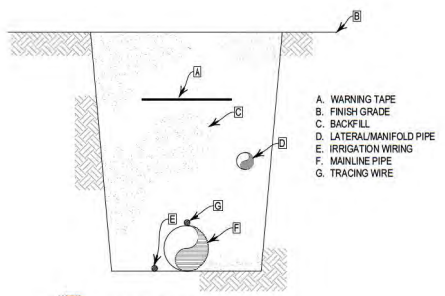
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Sheet Name  
IRRIGATION DETAILS

Sheet  
IR3.2



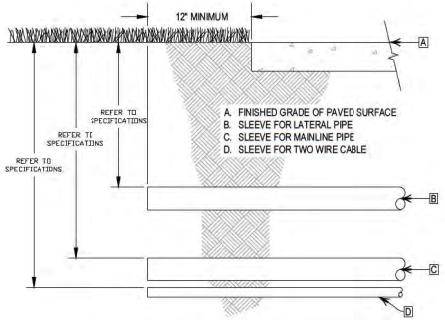
SLEEVE SIZING SCHEDULE	
PIPE SIZE (INCHES)	MINIMUM SLEEVE SIZE (INCHES)
1	2
1.5	3



- A. WARNING TAPE
- B. FINISH GRADE
- C. BACKFILL
- D. LATERAL/MANIFOLD PIPE
- E. IRRIGATION WIRING
- F. MAINLINE PIPE
- G. TRACING WIRE

NOTE:  
1. REFER TO IRRIGATION SPECIFICATIONS FOR COVERAGE DEPTH TO BURIED PIPE AND WIRE.

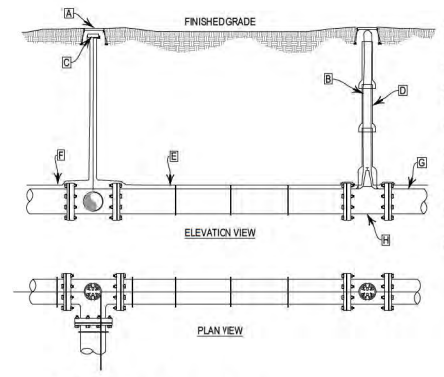
**1** TRENCH  
DETAIL N.T.S.



- A. FINISHED GRADE OF PAVED SURFACE
- B. SLEEVE FOR LATERAL PIPE
- C. SLEEVE FOR MAINLINE PIPE
- D. SLEEVE FOR TWO WIRE CABLE

NOTE:  
1. INSTALL SLEEVE SO THAT ITS LOWEST ELEVATION OCCURS AT ONE OR BOTH ENDS - NOT ALONG ITS LENGTH.

**2** SLEEVE  
DETAIL N.T.S.



- A. 10" ROUND VALVE BOX
- B. INSTALL TRACING WIRE TO THE TOP OF VALVE BOX
- C. WATER PROOF CONNECTION (SEE SPECIFICATIONS)
- D. PIPE SLEEVE SEE VALVE DETAIL
- E. TAPE COPPER WIRE TO TOP OF PIPE EVERY 10 FT.
- F. CONTINUOUS LOOP COPPER TRACING WIRE (SEE SPECIFICATIONS)
- G. PVC PIPE
- H. TYP. VALVE

NOTES:  
1. COPPER TRACING WIRE WILL START AT THE MASTER VALVE AND WILL BE ROUTED WITH ALL MAINLINE PIPE.  
2. SPLICE TRACING WIRE IN IRRIGATION MAINLINE COMPONENT VALVE BOXES WHEN POSSIBLE, OTHERWISE, PLACE SPLICE IN SEPARATE VALVE BOX.

**3** TRACING WIRE  
DETAIL N.T.S.



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CONSTRUCTION  
DOCUMENTS

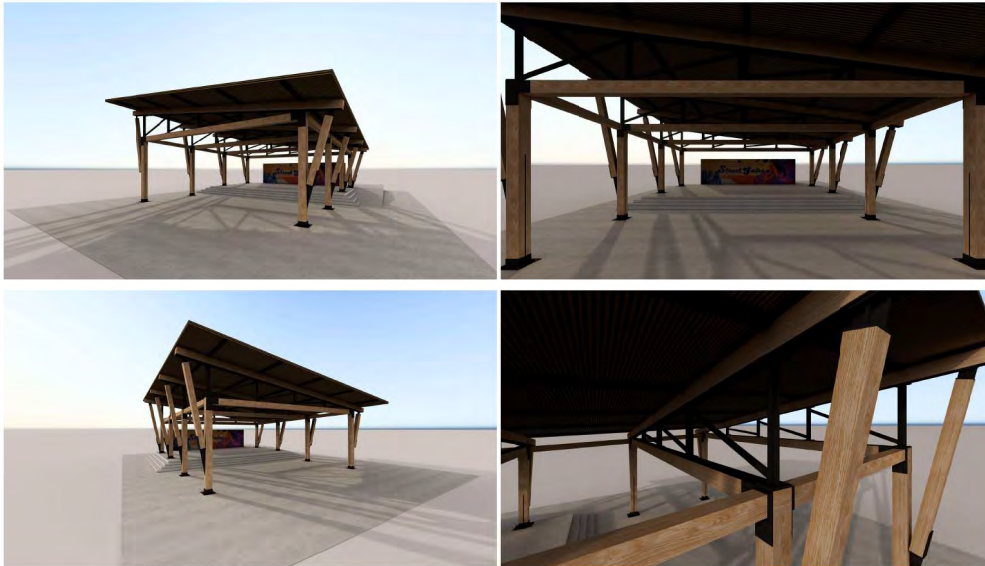
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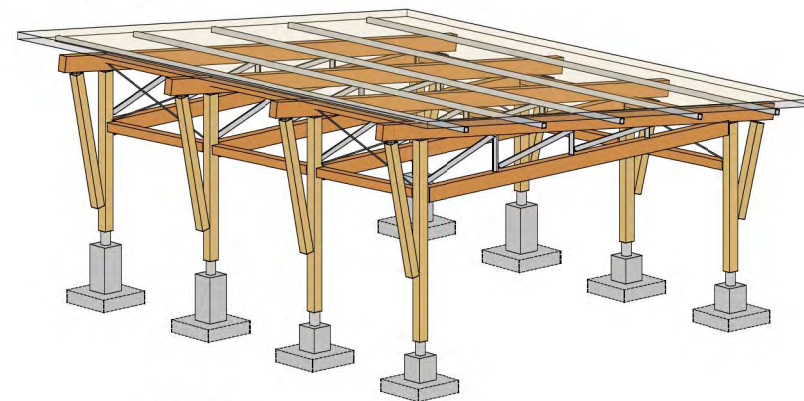
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IR3.3







SYMBOLS KEY			
	DIRECTION OF DECK SPAN		TOP OF CONCRETE OR MASONRY ELEVATION
	GRID DESIGNATION		TOP OF BEAM ELEVATION
	REVISION		JOIST BEARING ELEVATION
	INDICATES STRUCTURAL ELEVATION		BRICK LEDGE ELEVATION
	SHEAR WALL		TOP OF FOOTING ELEVATION
	SHORING		TOP OF FLOOR ELEVATION
	STEP IN FLOOR ELEVATION		COLUMN CONTINUOUS FROM LEVEL BELOW
	CMU (CONCRETE MASONRY UNIT)		COLUMN STARTING AT THIS LEVEL
	BRICK		COLUMN STOPPING BELOW THIS LEVEL, SEE FRAMING PLAN AT NEXT LOWER LEVEL
	CIP CONCRETE		COLUMN STARTING AND ENDING AT THIS LEVEL OF FRAMING
	PRECAST CONCRETE		COLUMN CONNECTING A LOWER BEAM TO A HIGHER BEAM AT THIS LEVEL OF FRAMING
	EXISTING CONCRETE		INDICATES BRACED BAY MARK
	EARTH		INDICATES BRACED BAY ELEVATION
	FIXED SPREAD FOOTING MARK		INDICATES BRACED MEMBER (ON PLAN)
	SPREAD FOOTING MARK		INDICATES CONFIGURATION OF INVERTED CHEVRON-TYPE BRACED BAY WITH HIS DIAGONAL BRACES
	STEP IN BOTTOM OF WALL/SIDE BEAM		INDICATES CONFIGURATION OF SINGLE DIAGONAL BRACED BAY WITH HIS DIAGONAL BRACE
	ROOF SLOPE		INDICATES RIGID MOMENT FRAME WITH FULL PENETRATION WELDED BEAM/PLANGE TO COLUMN CONNECTIONS
	DIRECTION OF SLOPE DOWN		INDICATES RIGID MOMENT FRAME ELEVATION W/ FULL PENETRATION WELDED BEAM/PLANGE TO COLUMN CONNECTIONS
	STAR OR RAMP DIRECTION		INDICATES BRACED BAY OR FRAMED BAY COLUMN BASE



3D VIEW

4 ARCH RENDERINGS  
S002 NO SCALE

LOUISVILLE  
FRONT & CENTER



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 GENERAL NOTES

Sheet  
**S002**

LOUISVILLE  
FRONT & CENTER

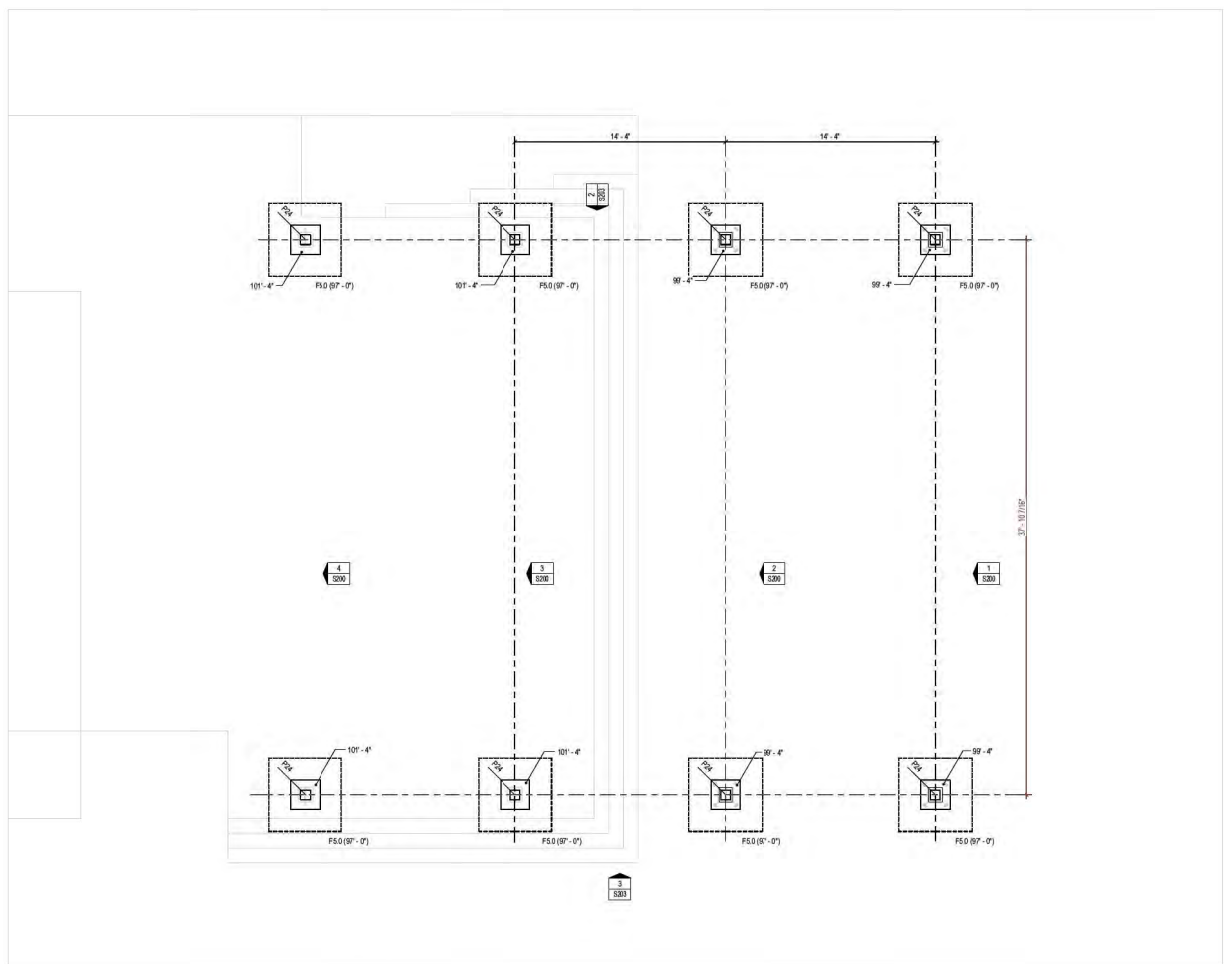


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 Checked By: LAC, DMP  
 Sheet Name  
 FOUNDATION PLAN

Sheet  
**S101**



**FOUNDATION PLAN**  
 1/4" = 1'-0"  
 NORTH

**FOOTING NOTES:**

- CENTER FOOTINGS UNDER STEMMALLS, PLASTERS, & COLUMNS TYPICAL UNLESS NOTED OTHERWISE
- FOOTING WIDTHS SHALL NOT VARY IN THE FIELD FROM SIZE
- NOTED OVERSIZE FOOTINGS ARE NOT ALLOWED
- LAPPED BOARD FORMING NOT ALLOWED
- TRENCH FORMING NOT ALLOWED

LOUISVILLE  
FRONT & CENTER

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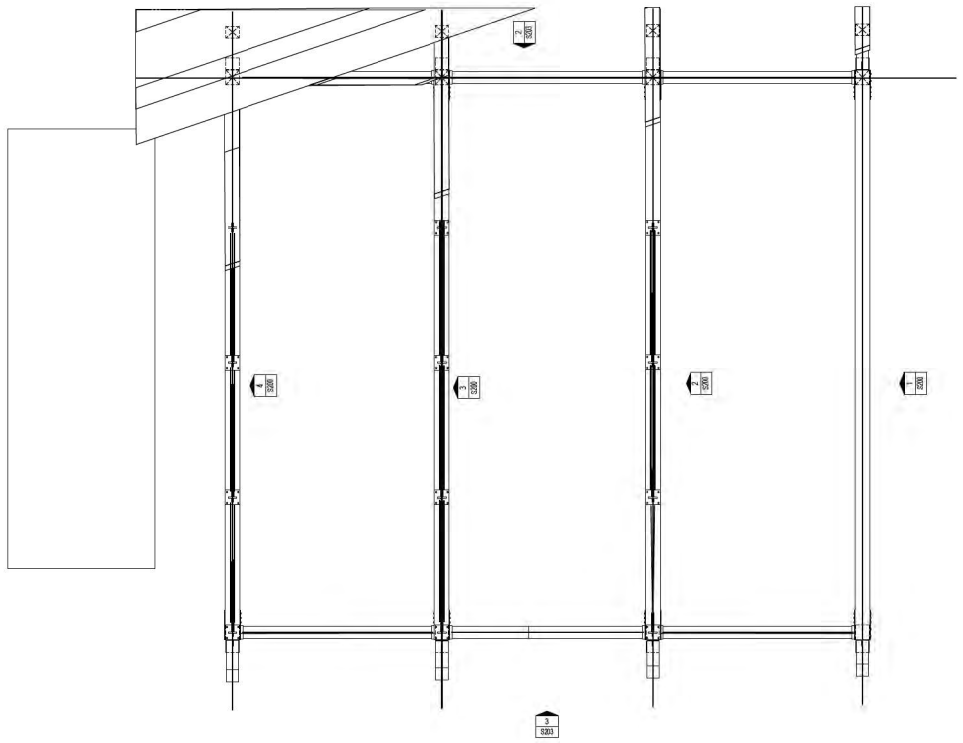
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Date: 11/21/2025  
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Sheet Name  
LOW RAFTER FRAMING PLAN

Sheet  
S102



LOW RAFTER FRAMING PLAN  
1/4" = 1'-0"  
NORTH

LOUISVILLE  
FRONT & CENTER

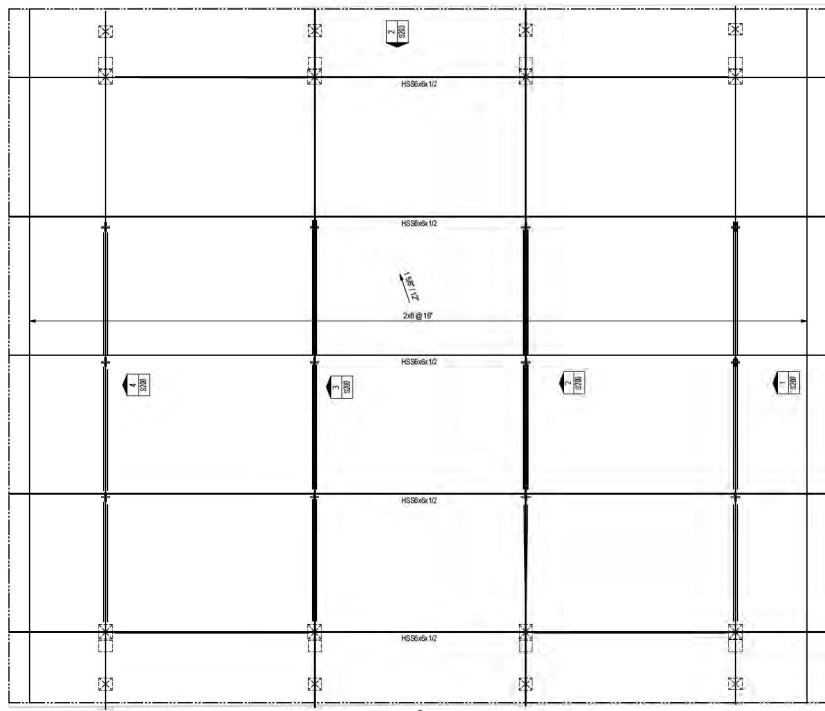
JVA, Inc.  
2425 Linton Street, Suite 100  
Cincinnati, OH 45226  
513.444.3313  
www.jva.com  
Consulting Engineers • Structural • Fire • Construction • Wetland Plans  
General Contracting • General



REV.	DESCRIPTION	DATE

30% CONSTRUCTION DOCUMENTS

Date: 11/21/2025  
 Drawn By: DJM, SFZ  
 Checked By: LAC, DMP  
 Sheet Name  
**ROOF FRAMING PLAN**  
 Sheet  
**S103**



**ROOF FRAMING PLAN**  
 1/4" = 1'-0"  
 NORTH

**TYPICAL ROOF SHEATHING:**  
 1200" APA D318 RATED SHEATHING FASTENED WITH 8d NAILS  
 @ 11" O.C. ALONG PANEL EDGES AND @ 12" O.C. ALONG  
 INTERMEDIATE FRAMING MEMBERS. LAP PANELS PERPENDICULAR  
 TO FRAMING MEMBERS AND STAGGER PANEL JOINTS.

LOUISVILLE  
FRONT & CENTER

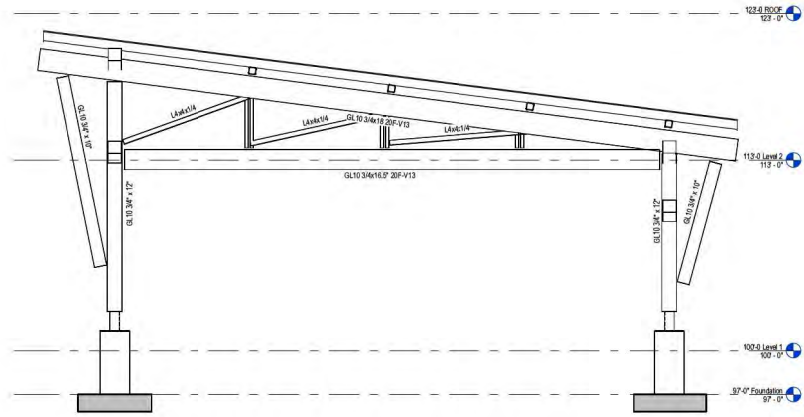


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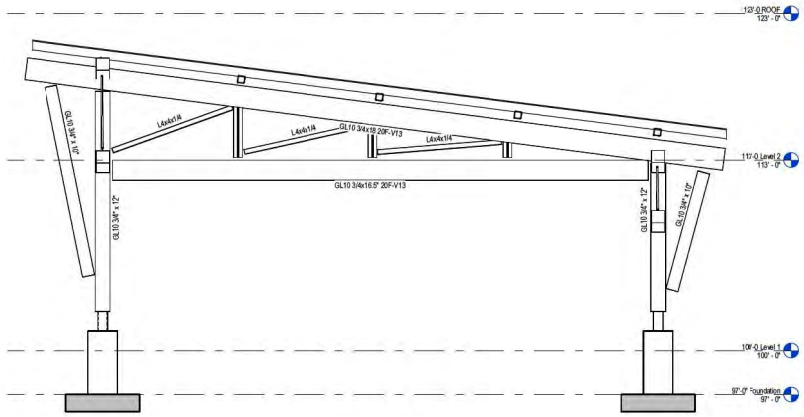
30% CONSTRUCTION DOCUMENTS

Date: 11/21/2025  
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 Checked By: LAC, DMP  
 Sheet Name  
 ELEVATIONS

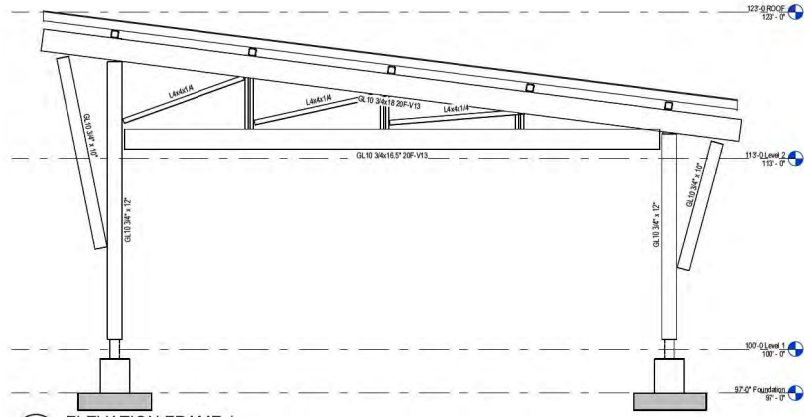
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**S200**



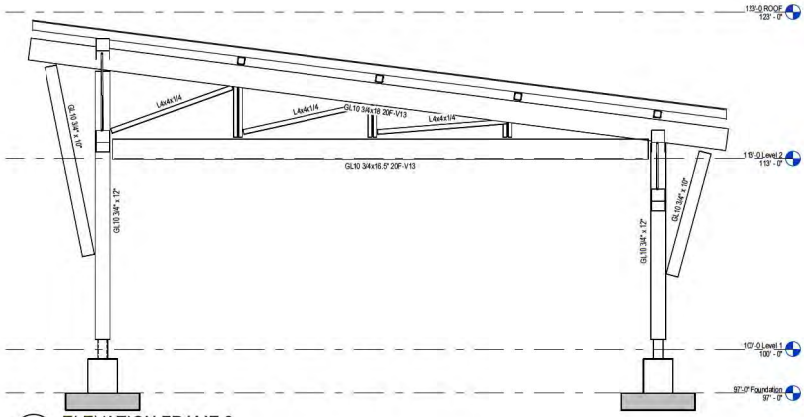
3 ELEVATION FRAME 3  
 S200 1/4" = 1'-0"



4 ELEVATION FRAME 4  
 S200 1/4" = 1'-0"



1 ELEVATION FRAME 1  
 S200 1/4" = 1'-0"



2 ELEVATION FRAME 2  
 S200 1/4" = 1'-0"

LOUISVILLE  
FRONT & CENTER

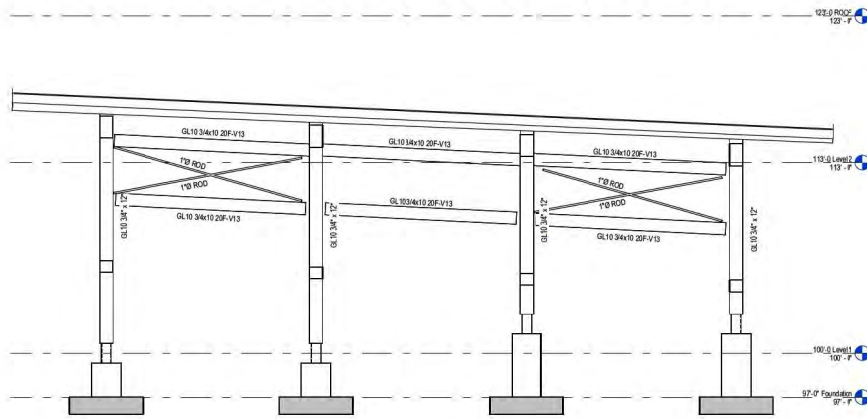


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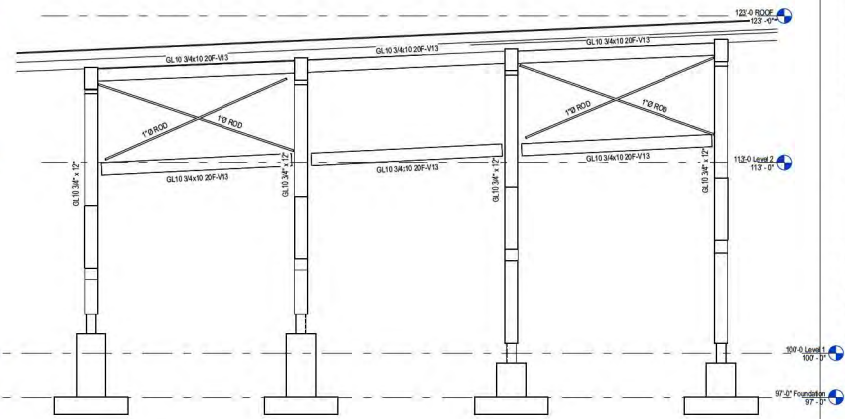
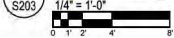
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Date: 11/21/2025  
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 Sheet Name  
 ELEVATIONS

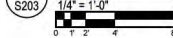
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2 ELEVATION EAST



3 ELEVATION WEST










**GENERAL DESCRIPTION**

THE SPLASH PAD IS A FLOW THROUGH TYPE WHERE POTABLE WATER IS DELIVERED TO A MANIFOLD THAT DISTRIBUTES WATER TO THE NOZZLES. SPLASH FROM THE NOZZLES ENTERS DRAINS THAT FLOW TO STORM SEWER. THE MANIFOLD IS PREFABRICATED AND INCLUDES ALL CONTROL, VALVES, AND PLUMBING. THE CONTRACTOR IS RESPONSIBLE FOR MAKING ALL CONNECTIONS.

**GENERAL NOTES**

- LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. VERIFY EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR UTILITY LOCATES AND POT HOLING AS NECESSARY TO VERIFY UTILITY LOCATIONS IMPACTED BY WATER FEATURE WORK.
- READ THOROUGHLY AND BECOME FAMILIAR WITH THE SPECIFICATIONS AND INSTALLATION DETAILS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
- DO NOT PROCEED WITH THE INSTALLATION OF THE WATER FEATURE WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. OR IF DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND NOTES, OR SPECIFICATIONS ARE DISCOVERED, BRING ALL SUCH OBSTRUCTIONS OR DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE BEFORE CONTINUING WITH CONSTRUCTION.
- THE WATER FEATURE DRAWINGS ARE DIAGRAMMATIC. COMPONENTS MAY BE SHOWN OUTSIDE OF THE INTENDED INSTALLATION AREAS FOR CLARITY. COORDINATE THIS INSTALLATION WITH THE INSTALLATION OF THE LANDSCAPE, CIVIL, HARDSCAPE, PLANTING PLANS, MEP, AND ARCHITECTURAL SITE WORK TO AVOID CONFLICTS.
- PROVIDE THE FOLLOWING COMPONENTS TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT:
  - TWO OPERATING KEYS FOR EACH TYPE OF MANUALLY OPERATED VALVE.
  - TWO COPIES OF A COMPLETE OPERATION AND MAINTENANCE MANUAL FOR MECHANICAL SYSTEMS. INCLUDE MANUFACTURER'S CATALOG DATA SHEETS, DRAWINGS, REPAIR PARTS LISTS, OPERATING INSTRUCTIONS, RECOMMENDED MAINTENANCE SCHEDULES, TROUBLESHOOTING, AND REPAIR PARTS LISTS.
- INSTALL ELECTRICAL POWER TO THE WATER FEATURE MECHANICAL SYSTEM AND OTHER ELECTRICAL DEVICES CALLED FOR ON THE PLANS IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL ELECTRIC UTILITY CODES.
- COORDINATE ALL ASPECTS OF THE WATER FEATURE INSTALLATION WITH NECESSARY TRADES AND THE OWNER'S REPRESENTATIVE ON SITE PRIOR TO CONSTRUCTION.

**LEGEND**

-  MANIFOLD ASSEMBLY AND CONTROL  
\*MANUFACTURER: VORTEX  
\*INCLUDES VAULT, SOLENOID VALVES (REFER TO PLANS FOR SIZES), AND SMARTFLOW CONTROLLER  
\*120 VAC POWER NEEDED FOR SMARTFLOW CONTROLLER
-  SPLASH PAD NOZZLE  
\*REFER TO PLANS FOR ADDITIONAL INFORMATION
-  DRAIN  
\*VORTEX VOR 1004 PLAYSAFE DRAIN N"4 WITH GREY LID RAL7040  
\*INCLUDE OPTIONAL STRAINER
-  WINTERIZATION ASSEMBLY  
\*REFER TO DETAIL
-  BACKFLOW PREVENTION ASSEMBLY  
\*MODEL: FERCO R251A  
\*SIZE: 1-1/2-INCH  
\*ENCLOSURE: VIT STRONG BOX SBBC SERIES (SIZED AS REQUIRED)
-  QUICK COUPLING VALVE ASSEMBLY  
\*MODEL: HUNTER 5-LRC
-  PUSH BUTTON BOLLARD ASSEMBLY  
\*MODEL: VORTEX 0622
- SUPPLY PIPE**  
\*TYPE: SCH. 40 PVC  
\*SIZE PER PLAN
- DRAIN PIPE**  
\*TYPE: SCH. 40 PVC  
\*SIZE PER PLAN
- LATERAL PIPE**  
\*TYPE: SCH. 40 PVC  
\*SIZE: 1-INCH  
\*NOTE: HDPE DR13.5 IS AN ACCEPTABLE ALTERNATIVE. IF THIS OPTION IS CHOSEN INSTALL 1-1/2-INCH SIZED PIPE.
- VALVE BOXES: RAIN BIRD V8 SERIES OR EQUAL. GREEN LIDS.
- NOTE: CONTACT VORTEX (MICHELLE LYNN, PHONE: 303-916-4524) FOR ORDERING VORTEX ITEMS.

**FLAG NOTES**

Ⓐ

UNDER DEVELOPMENT

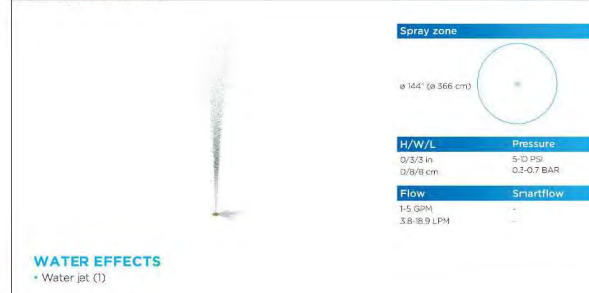
**NOZZLE 0305 PERFORMANCE:**



**NOZZLE 7512 PERFORMANCE:**



**NOZZLE 7676 PERFORMANCE:**



LOUISVILLE  
FRONT & CENTER



REV.	COMMENT	DATE











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CONSTRUCTION  
DOCUMENTS

Date: 12.01.2025  
 Drawn By: JHK  
 Checked By: RMB  
 Sheet Name  
 SPLASH PAD COVER SHEET

Sheet  
 WF1.0



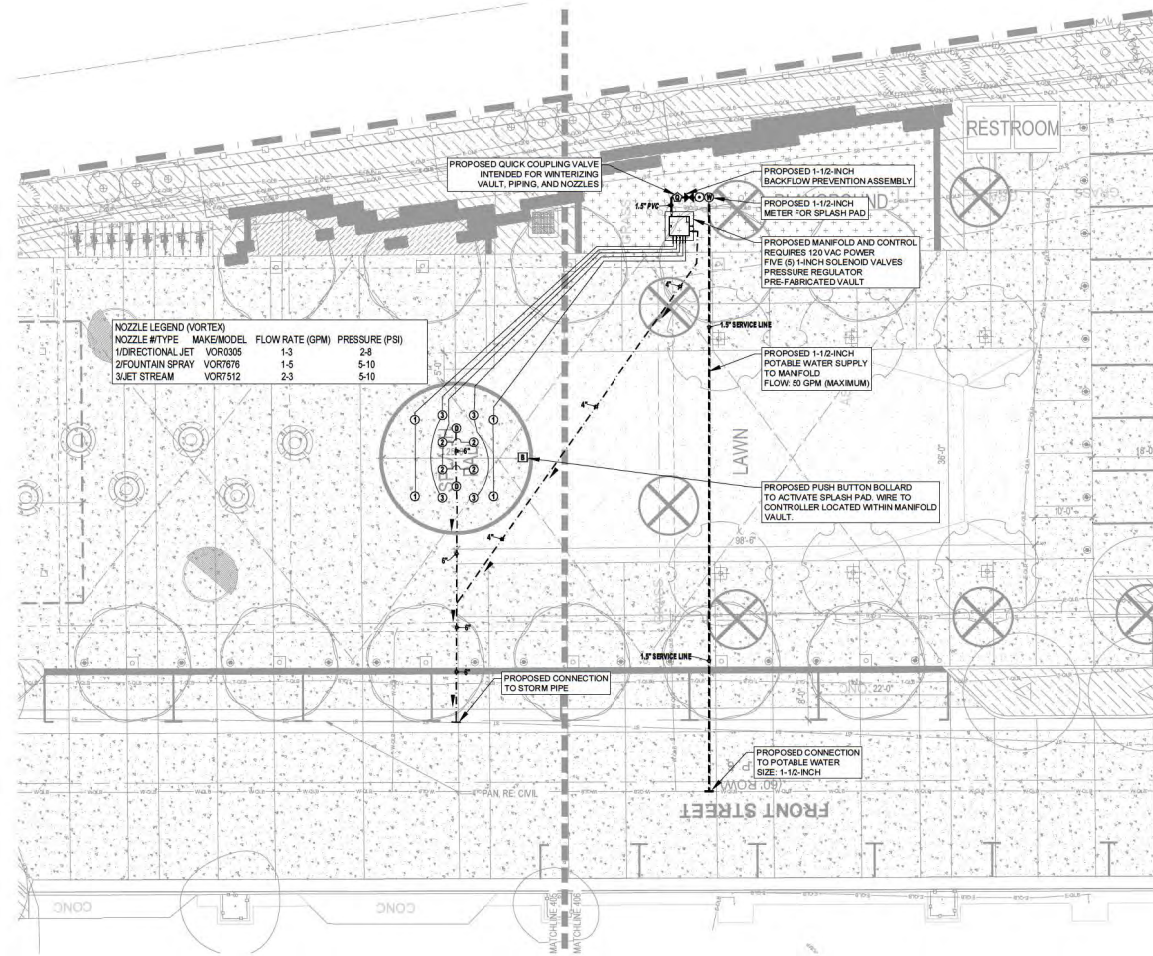
**LEGEND**

-  MANIFOLD ASSEMBLY AND CONTROL  
\*MANUFACTURER: VORTEX  
\*INCLUDES VAULT, SOLENOID VALVES (REFER TO PLANS FOR SIZES), AND SMARTFLOW CONTROLLER  
\*120 VAC POWER NEEDED FOR SMARTFLOW CONTROLLER
  -  SPLASH PAD NOZZLE  
\*REFER TO PLANS FOR ADDITIONAL INFORMATION
  -  DRAIN  
\*VORTEX VOR 1004 PLAYS/SAFE DRAIN N°4 WITH GREY LID RAL7040  
\*INCLUDE OPTIONAL STRAINER
  -  WINTERIZATION ASSEMBLY  
\*REFER TO DETAIL
  -  BACKFLOW PREVENTION ASSEMBLY  
\*MODEL: FEBCO 825YA  
\*SIZE: 1-1/2-INCH  
\*ENCLOSURE: VIT STRONG BOX SBBC SERIES (SIZED AS REQUIRED)
  -  QUICK COUPLING VALVE ASSEMBLY  
\*MODEL: HUNTER 5-LRC
  -  PUSH BUTTON BOLLARD ASSEMBLY  
\*MODEL: VORTEX 0822
  -  SUPPLY PIPE  
\*TYPE: SCH. 40 PVC  
\*SIZE PER PLAN
  -  DRAIN PIPE  
\*TYPE: SCH. 40 PVC  
\*SIZE PER PLAN
  -  LATERAL PIPE  
\*TYPE: SCH. 40 PVC  
\*SIZE: 1-INCH  
\*NOTE: HDPE DR13.5 IS AN ACCEPTABLE ALTERNATIVE. IF THIS OPTION IS CHOSEN INSTALL 1-1/2-INCH SIZED PIPE.
- VALVE BOXES: RAIN BIRD VB SERIES OR EQUAL. GREEN LIDS.
- NOTE: CONTACT VORTEX (MICHELLE LYNN, PHONE: 303-916-4524) FOR ORDERING VORTEX ITEMS.

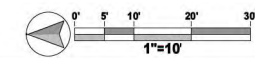
**FLAG NOTES**

**A**

UNDER  
DEVELOPMENT



**1** SPLASH PAD PLAN



LOUISVILLE  
FRONT & CENTER



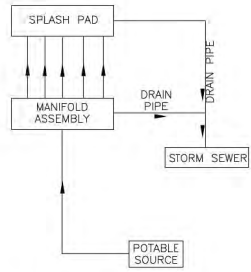
REV.	COMMENT	DATE

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CONSTRUCTION  
DOCUMENTS

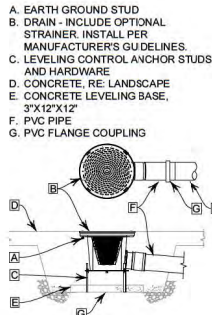
Date: 12.01.2025  
 Drawn By: JHK  
 Checked By: RMB  
 Sheet Name  
 SPLASH PAD PLAN

Sheet  
WF2.0

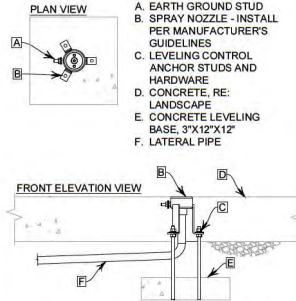




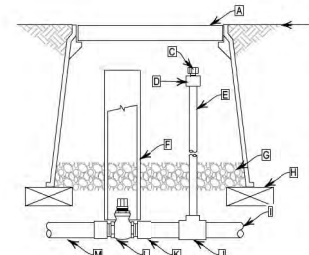
**1** SPLASH PAD MECHANICAL CONCEPT NTS



**2** SPLASH PAD DRAIN DETAIL NTS

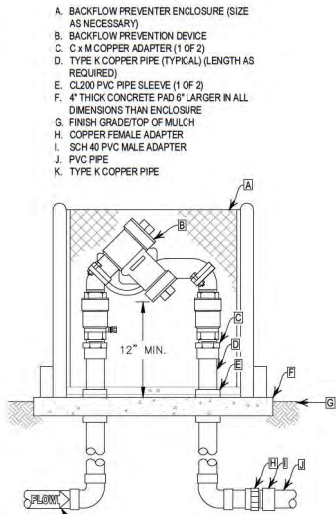


**3** SPLASH PAD NOZZLE DETAIL NTS



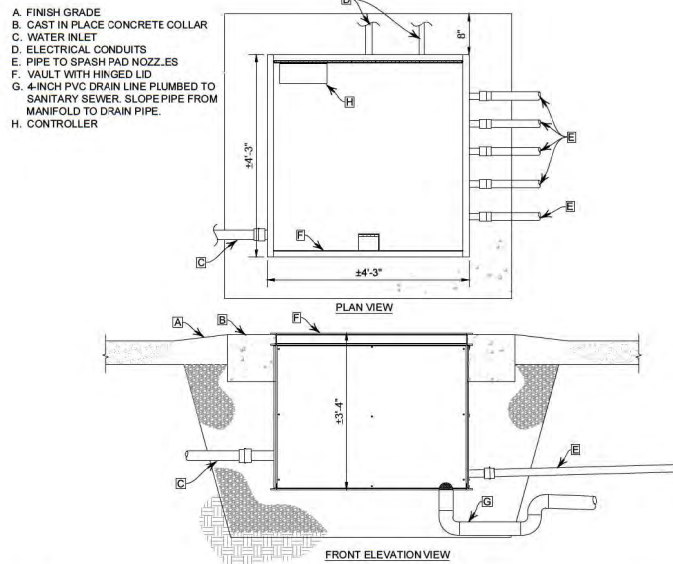
NOTES:  
 1. FURNISH NOMINAL PIPE AND FITTING SIZES IDENTICAL WITH NOMINAL TAP SIZE UNLESS OTHERWISE NOTED.  
 2. THIS ASSEMBLY IS INTENDED TO BE USED FOR WINTERIZATION OF BACKFLOW PREVENTION ASSEMBLY ONLY.

**4** WINTERIZATION ASSEMBLY NTS

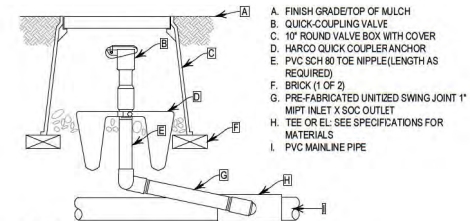


NOTES:  
 1. FURNISH FITTINGS AND PIPING SIZED IDENTICALLY WITH NOMINAL BACKFLOW PREVENTION DEVICE.  
 2. SUBMIT SHOP DRAWINGS SPECIFYING ENCLOSURE SIZE AND SHOWING RELATIVE LAYOUT OF EQUIPMENT.

**5** BACKFLOW PREVENTION ASSEMBLY NTS



**6** MANIFOLD ASSEMBLY AND CONTROL DETAIL NTS



NOTES:  
 1. FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.  
 2. INSTALLATION HEIGHT OF QUICK COUPLER VALVE IN VALVE BOX MUST ASSURE PROPER OPERATION OF QUICK COUPLER KEY.  
 3. INSTALL SWING JOINT LAY ARM BETWEEN 30° AND 45° OF LATERAL PIPE IN ORDER TO ABSORB DOWNWARD IMPACT.

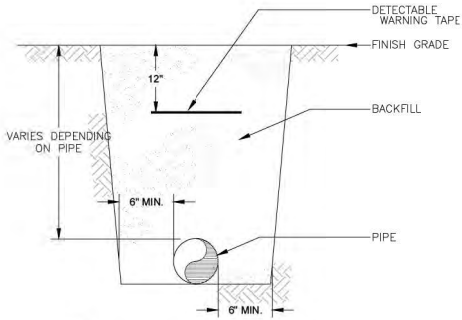
**7** QUICK COUPLING VALVE ASSEMBLY NTS



REV.	COMMENT	DATE

Date: 12.01.2025  
 Drawn By: JHK  
 Checked By: RMB

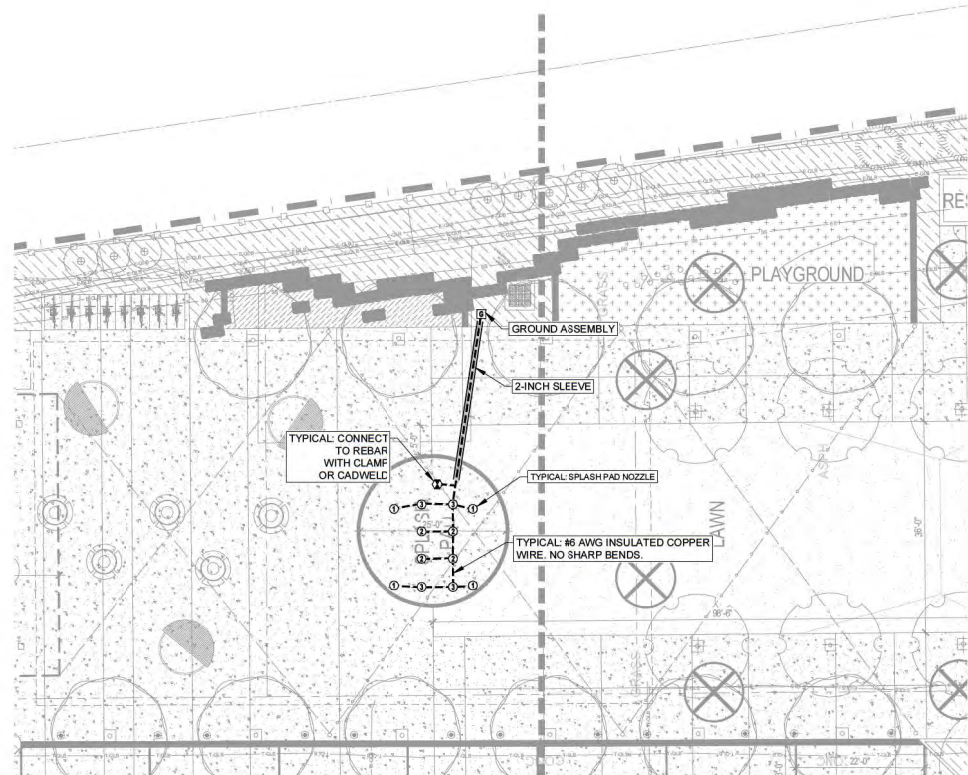
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 SPLASH PAD DETAILS



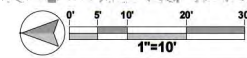
NOTE:  
1. REFER TO SPECIFICATIONS FOR COVERAGE DEPTH TO BURIED PIPE.

### 1 TRENCH DETAIL

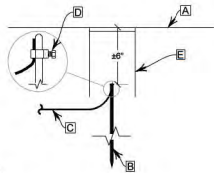
NTS



### 2 SPLASH PAD GROUNDING PLAN



- A. FINISH GRADE
- B. UL LISTED 5/8" X 10' COPPER-CLAD GROUNDING ROD
- C. #6 AWG BARE SOLID COPPER WIRE NO SHARP BENDS AND NO SPLICES.
- D. CONNECT END OF WIRE TO WATER FEATURE GROUND LUG OR REBAR USING CADWELD.
- E. 10-INCH ROUND VALVE BOX CENTERED OVER GROUND ROD.



### 3 GROUND ASSEMBLY

NTS

LOUISVILLE  
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REV.	COMMENT	DATE

30%  
CONSTRUCTION  
DOCUMENTS

Date: 12.01.2025  
Drawn By: JHK  
Checked By: RMB

Sheet Name  
SPLASH PAD DETAILS

Sheet  
WF3.1

















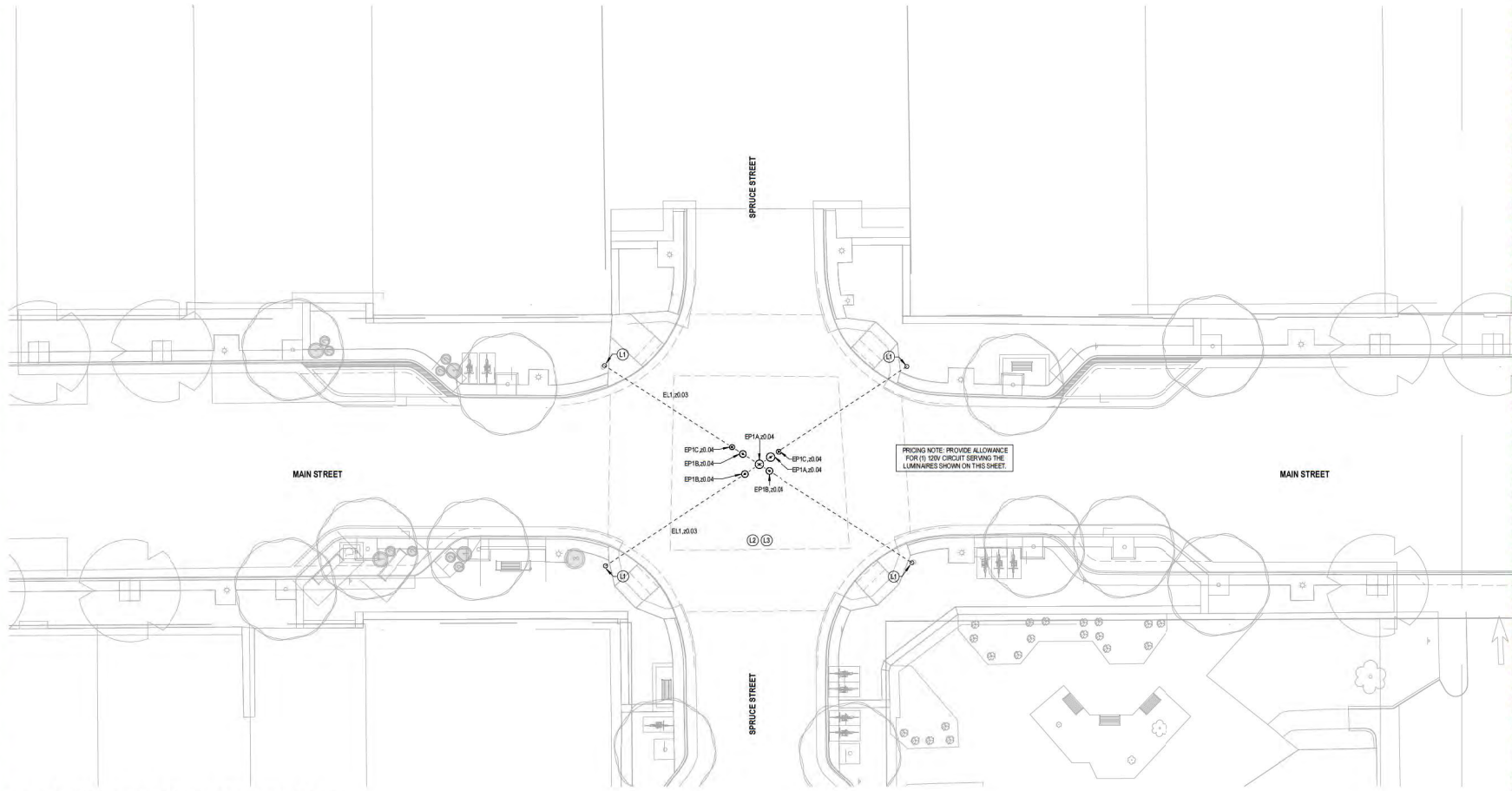


**SHEET NOTES**

- A. REFER TO LANDSCAPE ARCHITECTURAL DRAWINGS FOR SCOPE OF WORK AREAS.
- B. REFER TO LANDSCAPE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION AND ORIENTATION OF LUMINAIRES, DEVICES AND MOUNTING HEIGHTS PRIOR TO INSTALLATION.
- C. REFER TO LUMINAIRE AND CONTROL SCHEDULES FOR ADDITIONAL INFORMATION.

**KEYNOTES**

- L1 NEW CATENARY POLE LOCATION. CONTRACTOR SHALL COORDINATE POLE FOUNDATION WITH STRUCTURAL ENGINEER.
- L2 PROVIDE CONDITIONED ENCLOSURE TO HOUSE DMX CONTROLLER HEAD-END AND WIRELESS INTERFACE FOR RGBW LIGHTING AT INTERSECTIONS. CENTRAL LOCATION SHALL CONTROL WALKWAY, SPRUCE, AND TRAIL INTERSECTION LIGHTING.
- L3 DMX WIRELESS REPEATER SHALL BE LOCATED AT EACH INTERSECTION. EXACT LOCATION TO BE DETERMINED.



**1** LIGHTING PLAN - MAIN & SPRUCE STREET  
ELOS  
T=12"

**MAZZETTI**  
2600 WELTON STREET  
SUITE 200  
DENVER, CO  
80202 | USA  
(720) 844-5048  
www.mazzetti.com  
Project Number 024-000788



NO.	ISSUED FOR	DATE

30%  
CONSTRUCTION  
DOCUMENTS

Date: 12.01.2025

Drawn By: SP

Checked By: BS

Sheet Name  
LIGHTING PLAN -  
MAIN & SPRUCE  
STREET

Sheet

**EL203**

























**SUBJECT: STAFF UPDATES**

**DATE: MARCH 11, 2026**

**PRESENTED BY: VANESSA ZARATE, CECD, ECONOMIC VITALITY MANAGER  
BRIAN HOLIHAN, ECONOMIC VITALITY SPECIALIST**

**SUMMARY:**

In the following, staff provides updates on recent activity related to economic vitality functions.

*Sundance Film Festival*

City Staff continues to work with Sundance Institute Staff and regional partners to prepare for the upcoming festival in 2027. In addition to internal working meetings, Staff has met with partners for economic vitality, transportation, housing and cultural services workshops and focus groups. Staff continues to reach out to hotels to encourage them to become Sundance Hospitality partners and is moving forward with a recommendation for short term rentals. As additional news, events, policy and needs arise, we will share.

*Economic Development Council of Colorado*

Vanessa Zarate, the Economic Vitality Manager, was recently elected to serve as a Denver Metro regional representative on the Economic Development Council of Colorado's board of directors. She was voted on by economic development practitioners across Colorado and will assist in policy, program and advocacy for economic development initiatives locally and across the state.

*Commercial Sustainability Rebate Launch*

The City of Louisville is excited to announce the launch of its redesigned Commercial Sustainability Rebate Program, offering local businesses financial support for projects that reduce waste, lower emissions, and improve overall sustainability. Eligible businesses can apply for tiered rebates of \$1,000, \$5,000, or \$10,000 to help fund energy efficiency upgrades, composting and recycling systems, decarbonization projects, and other impactful sustainability initiatives. The application opens on March 2, 2026. Applicants can apply from March 2 through May 1, 2026. All applications will be reviewed from May 4 through May 15, 2026, with awardees notified within two weeks of the final day of the review timeline. Please reach out to [Brian Holihan](#) with additional questions.

*New Agenda System*

The City is moving towards a standardized agenda for all boards and commissions, and a new agenda management system. You will see slight changes to the format of the LRC agenda moving forward. Content will remain the same. Please reach out to Vanessa with questions.

**SUBJECT: STAFF UPDATES**

**DATE: AUGUST 13, 2025**

**PAGE 2 OF 2**

*South Street Underpass Public Meeting*

City Staff held another public meeting regarding the design for the South Street underpass the week of March 2. Throughout the week, staff met with the property owner, businesses and neighbors to provide an update on the current planned configuration and timeframe for the South Street Underpass at Highway 42. The plan will be presented to City Council at their March 17 Meeting.

**SUBJECT: DEVELOPMENT HIGHLIGHTS**

**DATE: MARCH 11, 2026**

**PRESENTED BY: VANESSA ZARATE, CECD, ECONOMIC VITALITY MANAGER**

**SUMMARY:**

In the following, Staff provides updates on recent activity related to construction and development. These updates are for the most frequently asked about sites and not for every site in a review process or under construction. All updates and timeframes are subject to change.

<b>Site</b>	<b>Update</b>
800-804 Main Street (former Wildwood Guitars)	The building is under contract and they have submitted plans to the City for reuse of the building.
809 Main Street (old Waterloo)	Project has complete the core/shell for the building and continues to look for a new tenant for the space. Potential tenants continue to tour the building, but no signed tenant to date.
816 Main Street (former Empire)	Site is listed for sale and staff is working with the real estate representatives to garner interest in the building.
833 Main Street (former Chase)	Staff is working with ownership to assist with reinvestment on site.
1301 Courtesy Road (Delo Boom)	Delo Boom is working through City processes to construct 140 units of housing. The project will consist of studios through three-bedrooms and 13.5% affordable units.
947 Pine Street (former gas station)	Birdie Bar is open to the public!
1303 Empire Road (Ironton)	Ironton has approved plans for a new distillery and event center. They have opened their temporary tasting room and are welcoming patrons.
540 County Road (Louisville Grain Elevator)	The Grain Elevator has new owners that have engaged the City to turn the building into an activated space. TIF review is complete.

**SUBJECT: DEVELOPMENT HIGHLIGHTS**

**DATE: MARCH 11, 2026**

**PAGE 2 OF 2**

Coal Creek Village (SWC South Boulder Road and HW 42)	A mixed use commercial and residential development, with 13,500 sf of commercial space and 186 dwelling units under review through our planning process.
1171 W Dillon Road (former Lowe's)	The New King Soopers Marketplace has started construction for the new store. They anticipate a mid-year 2026 opening.
1164 W Dillon Road (Cinebarre)	University of Colorado has purchased the site and is currently working on public engagement for their plans for the site.
575 McCaslin Boulevard (former Carrabba's)	Staff is working with the broker representation to market and attract a new user to the building. No lease signed to date.

If you would like to add a site to these updates, please let me know.

**ATTACHMENT(S):**

None.